

EAST DOWNTOWN REDEVELOPMENT AUTHORITY

JOINT MEETING OF THE BOARDS OF DIRECTORS

APRIL 19, 2021

BOARD PACKET

**REINVESTMENT ZONE NUMBER FIFTEEN,
CITY OF HOUSTON, TEXAS**

EAST DOWNTOWN REDEVELOPMENT AUTHORITY

AND

REINVESTMENT ZONE NUMBER FIFTEEN, CITY OF HOUSTON, TEXAS

(EAST DOWNTOWN TIRZ)

NOTICE OF JOINT MEETING

TO: THE BOARD OF DIRECTORS OF THE EAST DOWNTOWN REDEVELOPMENT AUTHORITY AND REINVESTMENT ZONE NUMBER FIFTEEN, CITY OF HOUSTON, TEXAS, AND TO ALL OTHER INTERESTED PERSONS:

Notice is hereby given that the Board of Directors of the East Downtown Redevelopment Authority (the "Authority") will hold a joint meeting with the Board of Directors of the Reinvestment Zone Number Fifteen, City of Houston, Texas (the "Zone") to be held on **Monday, April 19, 2021, at 12:00 p.m.**, via telephonic communication*. To attend the meeting please use the following URL <https://bracewell.webex.com/bracewell/j.php?MTID=mc858aec9d4258451998ab8c86239302f> or dial US **Toll free 1.855.282.6330**, when prompted enter **Access Code 145 767 4057#** and join as a participant to consider and take action upon the following matters:

* In accordance with section 418.016 of the Texas Government Code, as amended, the Texas Governor has temporarily suspended various open meeting statutes that require government officials and members of the public to be physically present at a specified meeting location. As a result, governmental entities, such as the Authority and the Zone, are permitted to meet via telephonic meeting. Members of the public are invited to join the telephonic meeting and may make public comments during the public comment portion of the agenda. For an electronic copy of agenda documents, please refer to the following link: <https://bracewell.sharefile.com/d-s6c774628680e462d9998f145d65c3250>

AGENDA

1. Public Comment.

*Members of the public are invited to speak during this portion of the agenda. If you would like to speak please contact the Authority/Zone by referencing the following email Sherry@edratirz15.org and let us know before the meeting that you wish to speak.

2. Minutes of the previous meetings:

- a. The Authority; and
- b. The Zone.

3. Administrator Report, including:

- a. Board letter concerning Polk District Project
- b. Support Letter for East End Grant Application
- c. FY 2022 Meeting Dates – September 20, 2021, October 18, 2021, December 13, 2021
February 21, 2022, April 18, 2022, June 20, 2022

4. Projects and Engineering:

- a. EDRA – Design Guide
- b. 2022 Draft CIP
- c. Engineering Consultant Report, including:
 - i. Update, work authorization and advertisements for bid:
(1) T-1503 – Phase 1 Roadway and Utility Re-construction;

- (2) T-1514 – Texas Avenue Mobility Improvements;
- (3) T- 1517 – Columbia TAP;
- (4) T-1504, 1515– Phase 2 – Roadway and Utility Re-construction and Polk Street Reconstruction
- (5) T- 1505 – Walker – Roadway Rehabilitation; and
- (6) T- 1511 – Bastrop Promenade/Greenspace – Conceptual Plan; and
- (7) T-1516 – Phase 1 Amenity Overlay;
 - a. Approve selection of contractor;
- (8) T-1523 – NHHIP Planning and Implementation
- d. Existing and Proposed Work Authorizations.
- e. Other Matters, if any.
- 5. Financial Matters:
 - a. Bookkeeper’s Report;
 - b. Authorize Payment of Invoices;
 - c. Other matters, if any.
- 6. Communications and Public Engagement:
 - a. Community Briefing Update.

Pursuant to V.T.C.A Government Code, Chapter 551, as amended, the Board of Directors may convene in closed session to receive advice from legal counsel and discuss matters relating to pending or contemplated litigation, personnel matters, gifts and donations, real estate transactions, the deployment, or specific occasions for the implementation of, security personnel or devices and or economic development negotiations.



Clark Stockton Lord
Attorney for the Authority and the Zone

MINUTES OF REGULAR MEETING
OF
EAST DOWNTOWN REDEVELOPMENT AUTHORITY

March 15, 2021

The Board of Directors (the “Board”) of East Downtown Redevelopment Authority, City of Houston, Texas (the “Authority”) convened in regular session, open to the public, via telephonic communication on the 15th day of March, 2021, pursuant to the March 16, 2020 action by the Governor of the State of Texas under Section 418.016 of the Texas Government Code suspending certain provisions of the Texas Open Meetings Act, and the roll was called of the duly constituted officers and members of said Board, to wit:

| | |
|-------------------------|------------|
| Gordon Quan | Chairman |
| Frances Castaneda Dyess | Vice-Chair |
| Bernard Aldape | Secretary |
| Christopher Hollins | Director |
| Seth Hopkins | Director |
| Paula Mendoza | Director |
| Mazen Baltagi | Director |

All members of the Board of the Directors were present, except Directors Baltagi and Hollins thus constituting a quorum.

Also present were: Andrea Metz and Frank Liu of Lovett Commercial; Jessica Bacorn East Downtown Management District; Ranjan Roy of Llewelyn-Davies Sahni (“LDS”); Monica Aizpurua of Binkley & Barfield, Inc; Clark Lord and Tiffany Ehmke of Bracewell LLP; Cynthia Craig of Governmental Financial Reporting, LLC, (“Bookkeeper”); Kyle Macy of Edminster, Hinshaw, Russ and Associates, the Engineer (“Engineer”).

Whereupon, the meeting was called to order. A copy of the notice of the meeting is attached hereto as Exhibit “A”.

DETERMINE QUORUM; CALL TO ORDER

Mr. Lord noted that a quorum was present and called the meeting to order.

PUBLIC COMMENT

No comments were given.

MINUTES OF PREVIOUS MEETING

The Board considered approving the minutes of December 14, 2020. Upon a motion, second and unanimous vote, the Board approved the minutes of December 14, 2020.

ADMINISTRATOR'S REPORT

Reimbursement Auditor Report for Urban InTownHomes, Ltd. (Commerce Canal)

The Board recognized Mr. Lord who reported that the TIRZ will provide a reimbursement to the developer based on the terms of the agreement. He noted there were no taxable improvements to the property prior to tax year 2020. Additionally, the TIRZ does not receive an increment until later in the year. Mr. Lord stated that the calculation for the reimbursement due to the 2020 taxes will be reviewed and approved by the Board after the funds have been deposited.

PROJECTS AND ENGINEERING

Project Committee Report

The Board recognized Director Dyess who stated that the Project Committee has met several times and worked with our Engineering Consultant and sub-consultants on projects. She stated that the Project Committee started reviewing the 2022 Capital Improvements Plan which will be on the April Agenda for discussion. Director Dyess reminded the Board that LDS is to complete the work on a Design Guide for the TIRZ to establish guidelines for street furniture, landscaping, etc. The Guide includes information on these items and on the standards of the two (2) management districts that work with East Downtown and East End.

Hear presentation from Lovett Commercial related to Polk District projects

The Board recognized Ms. Metz who presented proposed commercial projects, a copy of which is attached hereto as Exhibit "B". Ms. Metz and Mr. Liu answered the Board's questions. Mr. Liu requested the Board submit a letter stating that the TIRZ is supportive of the concepts outlined in the presentation to the City of Houston (the "City"). No action was taken.

EDRA – Design Guide

The Board recognized Mr. Roy who reviewed the Public Improvements Guide and answered the Board's questions. No action was taken.

Engineer's Report

Mr. Macy presented and reviewed the engineer's report, a copy of which is attached hereto as Exhibit "C".

Update, work authorization and advertisements for bid

Mr. Macy reviewed the following projects: (i) T-1503 – Phase 1 Roadway and Utility Re-construction; (ii) T-1514 – Texas Avenue Mobility Improvements; (iii) T- 1517 – Columbia TAP; (iv) T-1504 and 1515– Phase 2 – Roadway and Utility Re-construction; (v) T- 1505 – Walker – Roadway Rehabilitation; (vi) T- 1511 – Bastrop Promenade/Greenspace – Conceptual Plan; (vii) T-1516 – Phase 1 Amenity Overlay; and (viii) T-1523 NHHIP Planning and Implementation. He answered the Board’s questions regarding these matters.

Mr. Macy requested the Board consider authorizing the Project Committee selection of the contractor for T-1516 – Phase 1 Amenity Overlay to the lowest responsible bidder once bids have been received, opened and reviewed. After consideration, upon a motion brought by Director Dyess, seconded by Director Hopkins, the Board unanimously delegated authority to the Project’s Committee to review the bids, and award the contract to the lowest responsible bidder with a maximum bid of one million dollars.

Existing and proposed work authorizations

Mr. Macy reviewed the existing work authorizations and stated that there were no proposed work authorizations at this time.

FINANCIAL MATTERS

Bookkeeper Report/ payment of invoices

Ms. Craig presented the Bookkeeper’s report for the month, a copy of which is attached hereto as Exhibit “D”. Director Aldape noted that Director Gordon requested the Bookkeeper provide a report in December and in June to confirm consultant fees are within budget annually. After review, upon a motion brought by Director Aldape, seconded by Director Dyess, the Board unanimously approved the Bookkeeper’s report.

Additionally, Director Aldape stated that there has been progress with electronic banking with BBVA Bank (“BBVA”). He stated BBVA has recommended that the Authority add another person as an administrator to the account. Director Aldape recommended Ms. Weesner as the administrator and noted that she will only have the ability to manage technical items and not approval of payments or input of payments

Director Aldape recommended approval of the payment of the invoices. After consideration, upon a motion brought by Director Aldape, seconded by Director Dyess, the Board unanimously (i) approved the Bookkeeper’s report; (ii) approved invoices; and (iii) authorize Ms. Weesner as an administrator to the account with BBVA.

COMMUNICATIONS AND PUBLIC ENGAGEMENT

Communications and Public Engagement Committee Update

Director Mendoza updated the TIRZ has developed some online backgrounds and Board members can use Video Conferences if presenting on behalf of the TIRZ. She added that the community information meeting presentation will include some of the work the TIRZ has already completed and projects that are currently in design, or are ready to begin construction. Director Mendoza stated that the information about the meeting has been distributed to an email list, posted on the TIRZ's webpage, posted on East End's website, posted on East Downtown Management District's webpage, including distribution to their email list. In addition, the information has been shared with the Council Member, and with the two (2) Super Neighborhoods in the area.

ATTORNEY'S REPORT

Approve Assumption and Assignment of Development Agreement with Scenic Houston

The Board recognized Mr. Lord who requested the Board approve an Assumption and Assignment of Development Agreement ("Assignment") with Scenic Houston ("Scenic"), a copy of which is attached hereto as Exhibit "E". He noted that Scenic's corporate name has changed and the Assignment transfers the same rights as previously agreed upon and simply transfers the rights to the new corporate name. Mr. Lord answered the Board's questions.

After review, upon a motion brought by Director Aldape, seconded by Director Dyess, the Board unanimously voted to approve the Assignment as presented.

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There being no further business to come before the Board, the meeting was adjourned.

Secretary, Board of Directors

MINUTES OF REGULAR MEETING
OF
REINVESTMENT ZONE NUMBER FIFTEEN, CITY OF HOUSTON, TEXAS

March 15, 2021

The Board of Directors (the “Board”) of Reinvestment Zone Number Fifteen, City of Houston, Texas (the “Zone”) convened in regular session, open to the public, via telephonic communication on the 15th day of March, 2021, pursuant to the March 16, 2020 action by the Governor of the State of Texas under Section 418.016 of the Texas Government Code suspending certain provisions of the Texas Open Meetings Act, and the roll was called of the duly constituted officers and members of said Board, to wit:

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There being no further business to come before the Board, the meeting was adjourned.

Secretary, Board of Directors

EAST >>> TIRZ 15

DOWNTOWN

REDEVELOPMENT AUTHORITY

April 17, 2021

City of Houston
Office of Economic Development
901 Bagby St. – 4th Floor
Houston, TX 77002

Attn: Andy Icken

Frank Liu and Andrea Metz recently made a presentation to the East Downtown Redevelopment Authority/TIRZ 15 about the Lovett Commercial Polk District Development. They spoke to the Redevelopment Board about their interest in pursuing a Public Finance Corporation under Chapter 303 of the Local Government Code.

The Redevelopment Authority Board supports the City of Houston's efforts to develop workforce and affordable housing. However, the use of a Public Finance Corporation impacts City and TIRZ income. The board is interested and willing to work with the City and Lovett Commercial to reach an agreement that would be beneficial to all concerned if the City is also interested.

Please let us know if you would like to meet and discuss this issue or what the next steps should be.

Sincerely,

Gordon Quan
Chair
East Downtown Redevelopment Authority/TIRZ 15
711 Louisiana Street, Suite 2300
Houston, Texas 77002-2770

EAST >>> TIRZ 15 DOWNTOWN REDEVELOPMENT AUTHORITY

April 9, 2021

The Honorable Sylvia Garcia
1620 Longworth HOB
Washington, DC 20215

Dear United States Representative Garcia:

On behalf of the East Downtown Redevelopment Authority/TIRZ 15, I want to sincerely thank you for considering the East End District's application to secure funding for the Navigation Corridor/Foley Street Project. As you may know, this project is a component of a much larger comprehensive \$50M effort to connect Houston's East End communities with Buffalo Bayou's east sector (US 59 to Port of Houston Turning Basin). This initial funding request is an essential first step to creating this broader vision for connectivity.

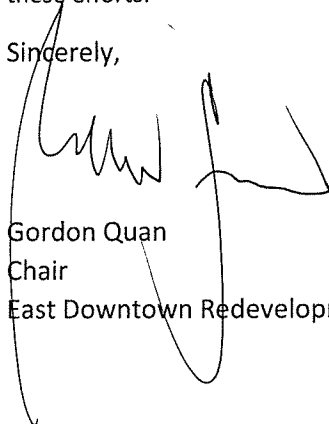
This specific project will allow for the construction of Foley Street between Drennan Street and Lockwood Drive in the Second Ward and will fund preliminary engineering work for the realignment of the adjacent section of Navigation Boulevard.

The Foley Street component of the project will facilitate an important new east-west connection that will "unlock" vacant property for the development of a mixed-income project with significant affordable and senior housing components. The new roadway will also include bicycle and pedestrian accommodations which will further connect these future residents (and the community) with the adjacent Tony Marron Park which is slated to be expanded to 40 acres. Furthermore, this project is the first of many project phases in this area connected to Buffalo Bayou Partnership's *Buffalo Bayou East Master Plan* and the *Connecting Buffalo Bayou East* vision document – both initiatives that we collaborated on with the East End District and Buffalo Bayou Partnership.

The Navigation Boulevard component of the project will allow for initial preliminary engineering to enable the "re-imagining" of the section of roadway from Lockwood Drive to Mack Street. The new vision for this roadway includes a reallocation of the right of way to provide for all modes of transportation including safe bicycle and pedestrian accommodations and a linear greenspace which will serve as a community front door to other proposed improvements in the immediate area.

The Foley Street and Navigation projects are closely related both geographically and functionally. They are both very important to the East End community. We greatly appreciate your support and consideration in helping fund these efforts.

Sincerely,



Gordon Quan
Chair
East Downtown Redevelopment Authority/TIRZ 15

East Downtown Redevelopment Authority/TIRZ 15 FY 2022 Meeting Dates

September 20, 2021

12 PM

October 18, 2021

12 PM

December 13, 2021**

12 PM

February 21, 2022

12 PM

April 18, 2022

12 PM

June 20, 2022

12 PM

Meetings are Currently held telephonic communication*. This may change at sometime in the future and the location of any in person meeting will be announced on the agenda.

In accordance with section 418.016 of the Texas Government Code, as amended, the Texas Governor has temporarily suspended various open meeting statutes that require government officials and members of the public to be physically present at a specified meeting location. As a result, governmental entities, such as the Authority and the Zone, are permitted to meet via telephonic meeting.

**Second Monday



TIRZ 15

Public Improvements Guide

April 2021

Llewelyn-Davies Sahni II, LLC in association with EHRA Engineering

ACKNOWLEDGEMENTS

The guidance and ongoing input at every stage of the work effort provided by the board and the project committee was very valuable to the team in forming the Public Improvements Guide.

TIRZ 15 Board Members:

Gordon Quan, Board Chair
Frances Castaneda Dyess, Vice Chair
Bernardo Aldape, III
Christopher G. Hollins
Victor Trevino, III
Mazen M. Baltagi
Paula Mendoza

Past Board Members that participated in the Guidelines development process:

Tharen K. Simpson
Alex Vassilakidis
Alexander Webb
Sergio Selvera
S. David Koret
Peter Brown (Late)

For up to date information about the TIRZ and Board please visit:

<https://eadohouston.com/tirz-15/>

Project Committee Members:

Frances Castaneda Dyess
Bernardo Aldape, III
Chris Hollins
Jessica Bacorn, EaDo
Patrick Ezzell, EEMD
Sherry F. Weesner, TIRZ Administrator
Jennifer D. Curley, City of Houston

Professional Team:

Llewelyn-Davies Sahni
EHRA Engineering

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INTRODUCTION



INTRODUCTION

This document contains suggested development guidelines for public improvements and is intended to provide urban design and materials to be used as reference for developers/consultants operating or planning to redevelop within TIRZ 15. The intended GOAL of this publication is to convey the quality and resultant ambiance to private developers as well as professionals engaged in planning and design within or adjacent to the public ROW. Professionals with commissions in the area are encouraged to reinforce the existing character as well as design diversity of the area fabric and to echo in the design of new and/or renovated existing structures, when possible.

Guide Objectives

To establish the scope, range and **design criteria** for elements that constitute the streetscape within TIRZ 15.

To encourage and ensure the use of appropriate **materials** that are easy to maintain, durable and of high quality.

The guidelines are intended to be made available to parties interested in real estate redevelopment within the area. The design and development management process is structured to allow for review by TIRZ 15 professional consultants, to make design recommendations to the developer/consultants as necessary for final approval by the TIRZ Board.

Use of the Guide

The Guidelines are to be used by developers and their consultants as well as by the public and private agencies when proposing any new development or renovation of existing structures within TIRZ 15. All proposed public improvements within the right-of-way are to be coordinated with the East Downtown Management District or the East End District staff for approval.

The guidelines are intended to be TIRZ 15 board approved recommendations, but do not supersede any codes or ordinances adopted by the City of Houston, other governmental agencies as well as private utility companies.

TIRZ 15 Location & Configuration

TIRZ 15 is located east of CBD Houston, and is contained within the boundary of EaDo Management District and the East End District.

TIRZ 15 encompasses approximately 122 city blocks (or 175 acres) located east of IH-69 and north of IH-45. Canal Street forms the northern boundary which runs along the Railroad tracks, forming the eastern boundary.

1.0 LANDSCAPE

1.1 INTRODUCTION



Goals

To allow for a **sense of arrival** to EaDo or East End.

To **enhance** the **appearance** of the District.

To increase/maintain **land values**.

To set criteria for acceptable plant material suited for **local growing conditions**.

Characteristic Considerations

A number of characteristics were considered when selecting the trees, shrubs and ground cover.

Trees should have a wide shade cover, shape the streetscape and be compatible with the streetscape pattern.

The shrubs and ground cover should be aesthetically attractive, non-invasive and commercially available.

Design Recommendations

Trees used shall be at least 4-6" minimum caliper in size.

All plant material to be of a healthy stock, grown in a nursery and reasonably free of die-back, disease, insects, eggs, bores and larvae. At the time of planting, all plants shall have a root system, stem and branch form that will not restrict normal growth, stability and health for the expected life of the plant.

All landscape should have a 2 year maintenance agreement with the landscape contractor.

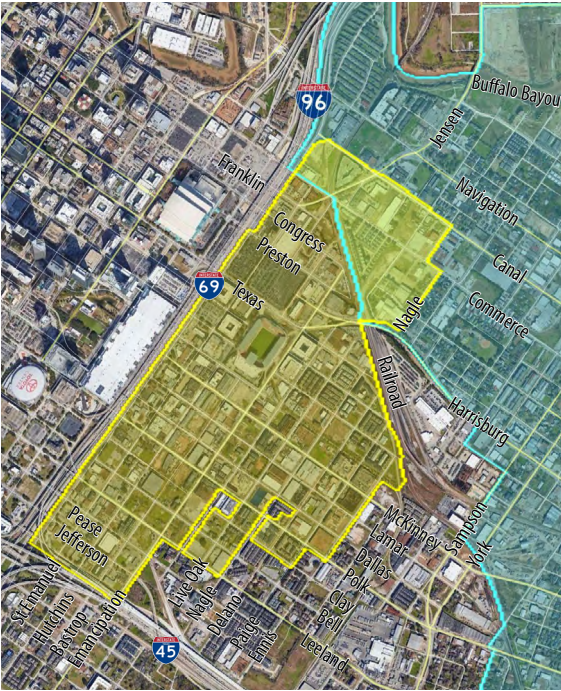
All plant material to follow the following standards by:

1. ANSI Z60.1 American Standard for Nursery Stock, most current edition.
2. "Grades and Standards", latest edition of Texas Association of Nurserymen Specifications, Austin, Texas 78704.
3. ANSI A 300 – Standard Practices for Tree, Shrub and other Woody Plant Maintenance, most current edition and parts.
4. Pruning practices shall conform to recommendations "Structural Pruning: A Guide For The Green Industry" most current edition; published by Urban Tree Foundation, Visalia, California.

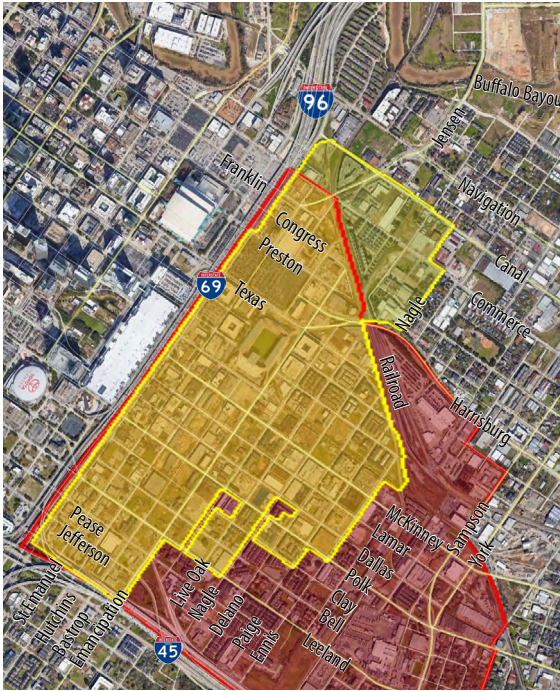
East Downtown Redevelopment Authority/TIRZ 15



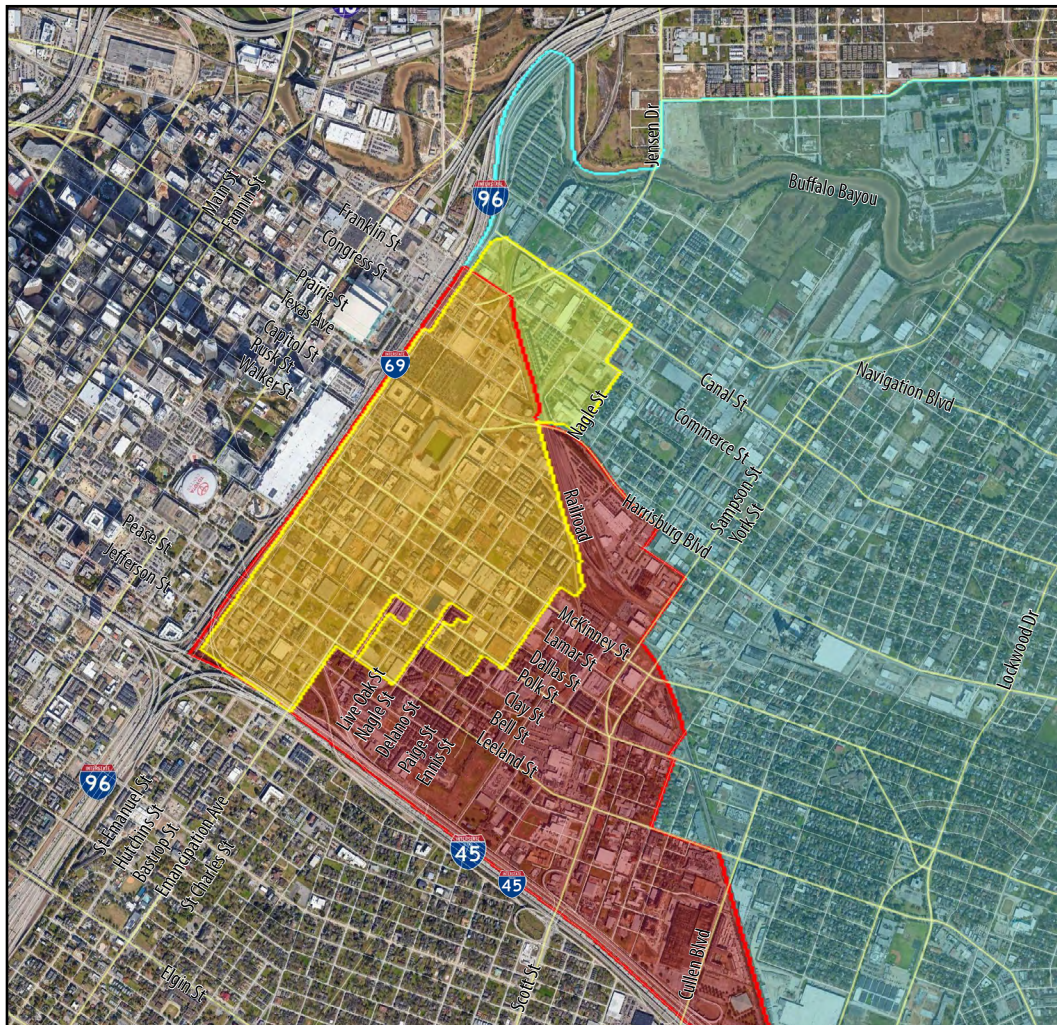
East End District



East Downtown (EaDo) Management District



1.2 EAST DOWNTOWN (EADO) MANAGEMENT DISTRICT AND EAST END DISTRICT



Area Management Districts

TIRZ 15 area falls within two management districts: East Downtown (EaDo) Management District, and the East End District. The area within the TIRZ 15 boundary, north of Commerce Street and Navigation Boulevard and east of the UP Railroad line lies in the East End District, and the area that is within the TIRZ 15 boundary south of Commerce Street and Navigation Boulevard and west of the railroad falls within the EaDo Management District.

It is recommended that the exact location of property to be redeveloped, be verified prior to commencing professional project design effort as TIRZ 15 boundary may change over time.

LEGEND

- TIRZ 15
- East Downtown (EaDo) Management District
- East End District

1.2.1 LANDSCAPE PLANTING

Goals

To provide **visual richness** and color/contrast, spatial definition and pedestrian scale to the hard urban environment.

To provide **shade** from the hot summer sun and to **reduce glare**.

To provide a **windbreak** from cold winter winds.

To **reduce** air pollution.

To separate and **buffer pedestrians** from vehicular flow.

To allow **sunshine** to penetrate to pedestrian areas in winter.

Design Recommendations

Plant materials are in four general groups:

A. Street Trees - Large canopy trees suitable for an urban environment.

B. Small Trees - Smaller trees typically used for color and richness in pedestrian areas.

C. Shrubs - Low level plantings used for richness and visual separation.

D. Ground Cover/Annuals/Perennials/Vines - Ground level plantings used in special areas for color and accent.

A major function of street trees is to help buffer vehicular and pedestrian movement on city streets. Street trees provide a basis for a citywide pedestrian linkage system and to provide a scale to the overall streetscape environment.

Street trees should be planted directly in-ground and designed for location. Select trees from a palette based on coordination with CenterPoint. Tree grates should be used where appropriate and/or necessary. Tree grates should be pedestrian rated and should comply with all ADA requirements. For more information, refer to the Texas Accessibility Standards. Trees are to be planted in a defined plant bed. Tree roots should be

encouraged to grow and expand naturally to allow the street tree to attain a maximum mature size.

Utility lines may be a constraint to planting in-ground in some locations. Early investigation into existing conditions should be made to determine the extent of these constraints.

In no case should “street trees” be planted in confined, above-grade planters.

For street trees, if a tree grate is needed, the tree grate size should be 4'-0" wide minimum with expandable centers for future growth and should be integrated into the sidewalk scoring pattern. Methods should be established to discourage the accumulation of trash and debris in tree grate wells.

Tree guards should be designed to protect trees on parade routes.

Typical street tree spacing, depending on the species, should be in a minimum of 20'-0" on center. Tree planting patterns are to be balanced on both sides of the street when possible.

To provide adequate clearance for passing vehicles, 10'-0" clearance should be required under overhanging branches.

In general, street trees should be planted in a size large enough to make immediate space-forming impact. The planted size should be such that an average person can view underneath the canopy (4"-6" minimum caliper size).

Small trees should be used selectively. The most appropriate use is for color and accent in passive or semi-active pedestrian spaces. Clustering of small trees should maximize their impact.

In general, small trees should be planted in-ground to maximize growth potential. Tree grates, if used, should be used in a scaled size with the small tree (4'-0" minimum width).

Small flowering trees should be planted at a minimum of 2" caliper, 6'-0" to 8'-0" height.

Shrub plantings should not obstruct the sightline of an average person, parallel to the ground plane. This should encourage a general feeling of spaciousness throughout the project area and should increase the sense of personal security (maximum height 4'-0" above grade).

Ground covers/annuals/perennials/vines can be effectively used for color and accent in pedestrian and vehicular areas. When located at activity nodes, a concentration of colorful, low-scale planting can reinforce the active nature of the space.

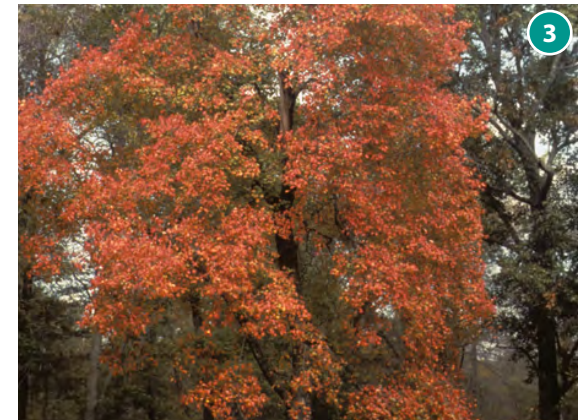
The range of available plant species identified in this section makes it possible to provide bright color virtually the whole year round.

In all cases, landscape plantings should be planted in a sufficient amount of an appropriate planting mixture. This planting mix should be permeable enough to prevent an excessive build-up of standing water. In no case should plants be planted in unamended soil.

The hot climate makes it imperative that appropriate plant materials are selected. In addition, it is desirable to minimize the number of different species used so that both visual consistency and simplified maintenance is achieved. The use of xeriscape planting techniques is encouraged.

The plant materials list in this section represents a palette of plants for use in TIRZ 15.

1.2.2 STREET TREES





LEGEND

- 1** *Acer Rubrum* Var. *Drummondii* (Red Maple) ¹

A single straight trunk tree with an average height of 30 feet tall. Leaves are green in the Spring and red in the Fall.
- 2** *Betula Nigra* (Heritage River Birch)

A multi-trunked tree with an average height of 20 feet tall. Flowers are green catkins and upright.
- 3** *Quercus Shumardii* (Shumard Red Oak) ²

A columnar trunk with an average height of 40 feet tall. Upright, oval form when young. Coarse texture and dense foliage. Leaves are green in the Spring and red in the Fall.
- 4** *Platanus Mexicana* (Mexican Sycamore)

A single straight trunk tree with an average height of 40 feet tall. Upright, oval to pyramidal form with tall trunk. Coarse texture leaves.
- 5** *Taxodium Mucronatum* (Montezuma Cypress) ³

A single straight conical trunk tree up to 60 feet tall. Leaves bloom in February and March.
- 6** *Ulmus Crassifolia* (Cedar Elm) ²

A single straight trunk tree up to 40 feet tall. Leaves are green with a rounded canopy. Flowers in late summer to early autumn. Not showy.

Image Hosted on Pixabay and Courtesy of Users: ¹ FlorianJung
 Images Courtesy of Lady Bird Johnson Wildflower Center and Photographers: ²Sally and Andy Wasowski; ³Peter Loos

1.2.3 SMALL/ORNAMENTAL TREES





LEGEND

- 1** Lagerstroemia Indica (Catawba Crape Myrtle) ¹

A multi-trunked tree up to 15 feet tall. Flowers appear in deep purple clusters.
- 2** Lagerstroemia Indica (Tuscarora Crape Myrtle) ²

A multi-trunked tree up to 16 feet tall. Flowers appear in coral-pink clusters.
- 3** Prunus Mexicana (Mexican Plum) ³

Single trunk tree up to 20' tall. Upright to mounding form, open in density with medium texture. Flowers are white and pink and bloom in the Spring.
- 4** Ilex Vomitoria (Yaupon Holly) ⁴

A multi-trunked tree up to 25 feet tall. Flowers are small and white.
- 5** Cercis Canadensis (Eastern Redbud) ⁵

A multi-trunked tree up to 30 feet tall. Flowers appear in pink and bloom in the Spring.

*Image Hosted on Pixabay and Courtesy of Users: ¹Leechentou; ²Sarangib
Images Courtesy of Lady Bird Johnson Wildflower Center and Photographers: ³Joseph A. Marcus; ⁴Annie Paulson Gillespie; ⁵W.D. and Dolphia Bransford*

1.2.4 PLANTER SHRUBS





4



5



6

LEGEND

- 1 *Dietes Bicolor* (Fortnight Lily) ¹
Delicate iris like, pale yellow flowers with large, vivid maroon colored blotches. Narrow swordlike foliage.
- 2 *Muhlenbergia Capillaris* (Gulf Coast Muhly) ²
Ornamental grass with flowers are pink and bloom from September to November.
- 3 *Liriope Gigantea* (Giant Liriope) ³
Thick tufted clumps of strap-shaped foliage. Flowers are white and bloom in the Summer.
- 4 *Rosmarinus Officinalis 'Prostratus'* (Prostrate Rosemary) ⁴
Low spreading at 2' height with a fine texture leaf. Small light blue to lavender flowers in clusters starting in late spring.
- 5 *Hesperaloe Parviflora* (Red Yucca) ⁵
Thin clumps of radiating leaves originating from a central crown. Shrimp-pink, nodding, flowers on long leaning stalk above the rosette of foliage. Blooms from May to early fall.
- 6 *Malvaviscus Drummondii* (Turk's Cap) ⁵
Nearly evergreen perennial with heart shaped leaves. Produces small bright red flowers from summer to first frost.

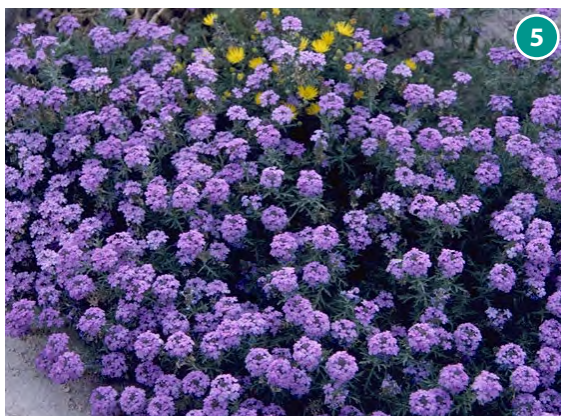
Image Hosted on Wikipedia and Courtesy of User: ¹ Fan Wen; ³ Elf; ⁴ Margalob; Images Courtesy of Lady Bird Johnson Wildflower Center and Photographers: ² Joe Marcus; ⁵ Sally and Andy Wasowski

1.2.5 PLANTER GROUNDCOVER & PERENNIALS





4



5



6

LEGEND

- 1 *Trachelospermum asiaticum* (Asian Star Jasmine) ¹
Fast growing dense evergreen mat 15" deep groundcover. Medium-fine texture.
- 2 *Ophiopogon Japonicus* (Mondo Grass) ²
Ornamental grass blooms from June to July.
- 3 *Lantana Montevidensis* (Trailing Lantana 'Purple') ³
Flowers are purple and blooms in the Spring through the Summer.
- 4 *Lantana Montevidensis* (Trailing Lantana 'New Gold') ⁴
Flowers are bright golden yellow and blooms in the Spring through the Summer.
- 5 *Verbena x hybrida* 'Homestead' (Verbena) ⁵
Flowers are lavender/blue that bloom from early Spring through late Fall.
- 6 *Cynodon Dactylon* (Bermuda Grass) ⁶
Perennial warm-season grass and grows from late Spring through Summer.

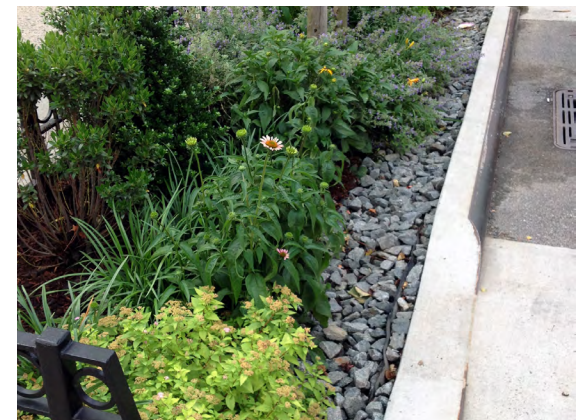
Image Hosted on Wikipedia and Courtesy of Users: ¹Epibase; ²Supportstorm; ³Forest and Kim Starr; ⁴Bidgee; Images Courtesy of Lady Bird Johnson Wildflower Center and Photographers: ⁴Alan Cressler; ⁵W.D. and Dolphia Bransford

1.2.6 LOW IMPACT DEVELOPMENT (LID) FEATURES

Left: Silva Cell, Image: DeepRoot.com

Top Right: Curb Extension Planter, Image: Philadelphia Water Department

Bottom Right: Curbside Planter, Image: Chris Hamby



Goals

To provide LID features throughout TIRZ 15 to **supplement the overall capacity** of the storm system as well as **slow run off** rates.

To **filter** out some of the pollutants that travel into the storm sewers.

To encourage **natural infiltration** back into the ground.

To counteract the heat island effect by substituting pavement with **vegetation**.

Design Recommendations

Based on the recent city incentives program to encourage green infrastructure, rain gardens, bioretention systems, permeable pavements and rain water harvesting are encouraged within the right-of-way.

Silva Cells or similar should be used when possible to allow for storm water storage and tree growth. It is highly recommended to use a modular suspended pavement system to support a larger tree growth and allows for the opportunity for on-site stormwater management.

LID planting areas should be placed in the public right of way, adjacent to the street side curb. They should be a minimum of 5' wide. The length should be determined by frequency and interrupting elements such as utilities and driveways.

LID planting areas typically take two similar forms. The first, which is most easily

used when there should already be street construction, is the street side planter box. It comes in two variations, including an option for a parallel parking access walkway. The second version can be used to replace the current, or be an additional curb extension. This type is most common in retrofitting applications. Design Teams are to reference the "Harris County Low Impact Development & Green Infrastructure Design Criteria for Storm Water Management" adopted, April 2011.

Curbside LID Planter/Bioswale

The details of a planting area may vary and should be engineered for the area's needs. The top layer should be designed to allow for a depth of freeboard below the grade of both the street and sidewalk to ensure proper drainage. The top layer may be flat or gently sloped depending on the desired aesthetic, infiltration rate and pollutant reduction requirements. A lower/no slope should help more infiltration and particulate reduction, but may reduce the overall "first-flush" drainage capacity of the planter.

Street inlets spaced appropriately should encourage reasonable flow into the planter. Small sidewalk inlets should also be spaced appropriately to mitigate ponding on walking surfaces.

Certain areas should include an overflow drain, the inlet to which should be located 2 inches above planted grade and tie into the

existing or new storm water pipe. If there is an overflow drain used, special attention and extra maintenance is advised to reduce the amount of silt or dirt that may accumulate in the drainage system. A series or singular check dam(s) may be needed if the planter exceeds 10' in length or the expected street runoff may be a higher than anticipated volume. In general, they may be a tamped clay bump, wood wall or metal wall. For the specific construction of these dams refer to engineered standards.

In instances where on-street parking occurs, a minimum 16" walking surface should abut the planter. Metal grates should bridge the inlets in these locations to ensure a continuous walking surface. These surfaces should be either concrete or equivalent pavers. The retaining structure should be poured concrete and placed with an additional 6" ledge towards the inside of the planter.

Curb Extension LID Planter

Curb extensions should be located before intersections on streets where there is on-street parking available. They can serve as traffic calming elements, that both more tightly frame the intersection and also reduce walking distance for pedestrians. Curb extensions can be added to existing curb conditions or in newly constructed street sections and should be designed as such.

Plants should be selected and approved by LID type and specific project design.

2.0 STREETSCAPE

2.1 INTRODUCTION

Goals

Streetscape or sidewalk elements design to be **in response** to the unique physical and social characteristics of East Downtown Houston (EaDo).

When possible, design elements should reflect the area's **history**, associating it with the coming growth and change.

All streets, sidewalks and public places should be designed for **universal accessibility**.

Characteristic Considerations

Street experience for visitors should be unique. Sidewalk standards set out in this document should be met or exceeded. Developers are encouraged to propose wider sidewalk widths in response to user needs, such as: pedestrians, service and delivery vehicles, on street parking, drop-off/pick-up zones and other needed amenities. For efficient traffic movement, lane width for each street should be respected by the developer. Coordinated color scheme, sidewalk texture should respect existing conditions, possibly integrating the “old” into an overall design, where possible.

Design Recommendations

Design of all sidewalks and public places to address both security and safety of pedestrian and other users while minimizing conflicts with vehicular traffic.

To ensure the safety of pedestrians and the visually impaired, in particular, where abrupt changes in level may exist. Surfaces visually experienced by pedestrians and users should be defined by contrasting color, textures and/or materials.

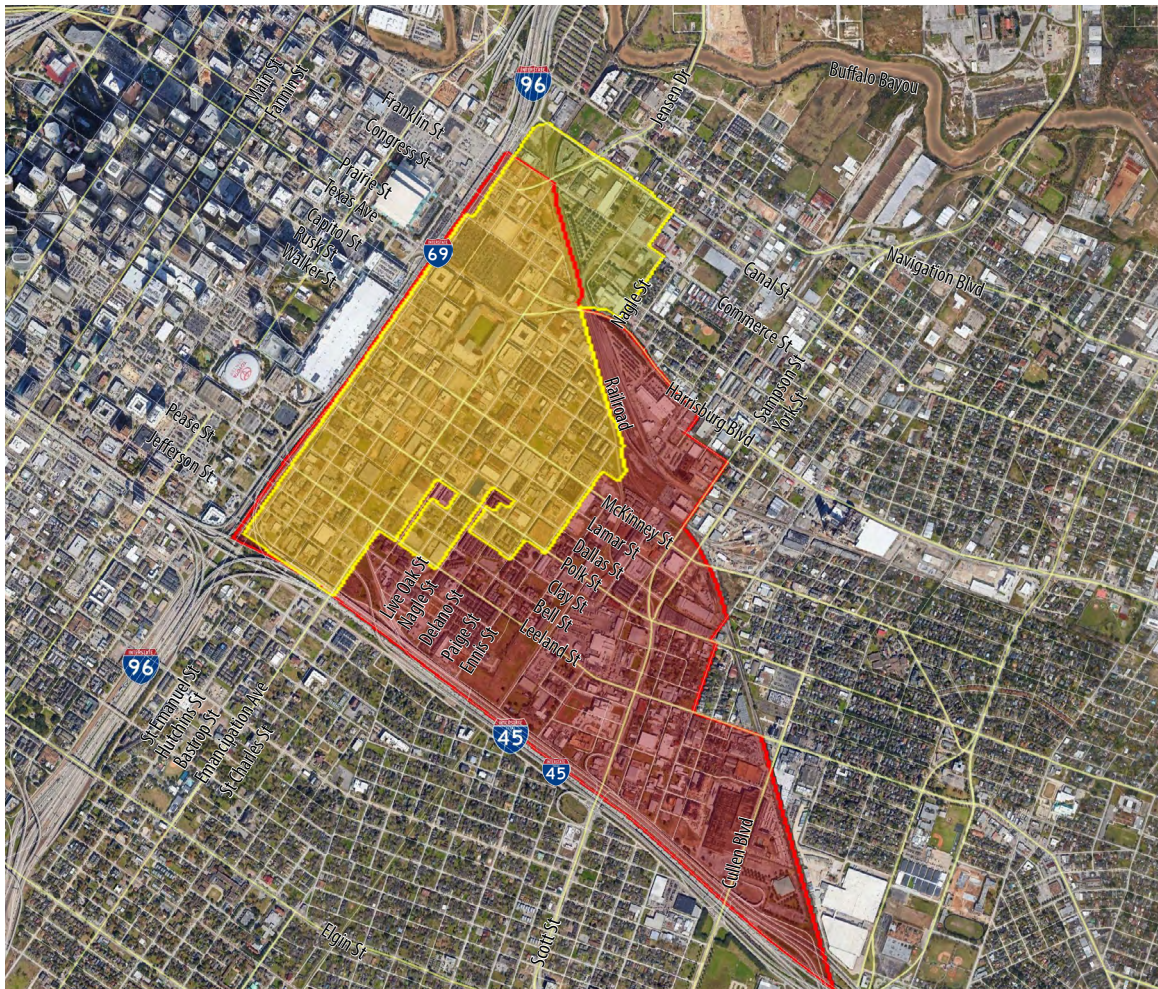
All transit stops, parking bays, servicing areas, drop-off zones and any other street-related conditions should be designed to provide safe vehicular use and minimize conflict with pedestrians.

All street element materials should be resistant to vandalism, fading and bleach.

All elements and components should be designed for low cost maintenance, ease of replacement and repair.

The guidelines are intended to be TIRZ 15 board approved recommendations, but do not supersede any codes or ordinances adopted by the City of Houston, other governmental agencies as well as private utility companies.

2.2 EAST DOWNTOWN (EADO) MANAGEMENT DISTRICT



All improvements within the TIRZ 15 and East Downtown (EaDo) Management District are encouraged to follow the guidelines described in some detail below. Before commencing redevelopment work the developer is encouraged to contact the Management District to ensure that the guidelines to be used are up to date.

LEGEND

- TIRZ 15
- East Downtown (EaDo) Management District



2.2.1 SIDEWALKS

Goals

To allow for **safe** movement within the pedestrian environment.

To **preserve**, where appropriate, existing sidewalks which in condition, quality and character are deemed suitable and compliment proposed improvements.

Design Recommendations

All improvements to conform to Texas Accessibility Standards.

Sidewalks should have sufficient pitch for positive drainage toward the street, to convey run-off (1/4" per foot wherever possible).

Sidewalk area at corners should be sufficient to allow for stacking of pedestrians waiting to cross the street.

To minimize conflicts between normal pedestrian flow, transit passenger waiting area as well as shoppers exiting/entering buildings.

Vehicular traffic should have unobstructed views across street corners. New or rehabilitated building entrances should be prohibited at street corners.

Where necessary, establish an easement as a transitional zone between existing storefront material(s) and proposed sidewalk material(s).

Provide for smooth textured non-slip and impervious surface.

Joints between same or different materials/elements should be a maximum of 1/2" width.

Use of a non-glare surface, color and texture is encouraged.

Monolithic paving should require expansion joints between the curb and every change in materials. Expansion joints should be designed to minimize cracking of paving material(s) and should fit into the pattern of the sidewalk.

Concrete sidewalks should have standard scoring patterns that permit economic removal of complete modules.

Concrete sidewalk repair, replacement and installation of posts and furniture should respect joint and scoring patterns.

Elements constructed on the sidewalk which penetrate the surface paving material should be located so as to minimize the number of irregularly shaped cuts to the paving.

Materials should be impervious, durable, stain resistant and have integral color.

Top Left: Sidewalk Design, Image: La Citta Vita

Bottom Left: Wide Sidewalk, Image: Oran Viriyincy

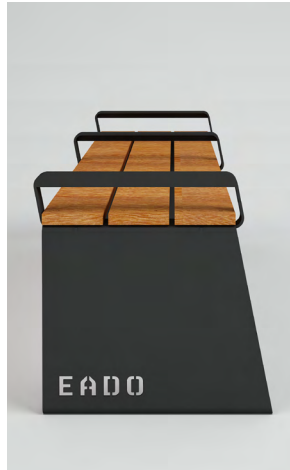
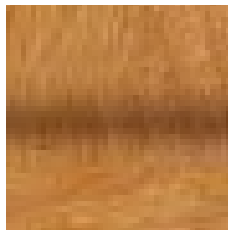
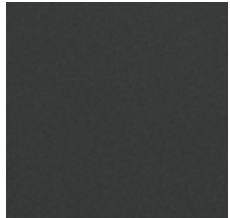
Bottom Middle: Retail Frontage, Image: Brett VA

Bottom Right: Sidewalk Design, Image: John Gillespie

Right Middle: Paver Strategy, Image: Karen Mardahl

Top Right: Brick Pavers, Image: Amy Bonilla

2.2.2 SEATING



Manufacturer: Root Lab
Product Name: EaDo Bench
Specifications: Backed or Backless
Black Powder Coated Stainless
Steel & Rosewood Oil Ipe Wood
Surface Mounted or Embedded
in Concrete
Intermittent Dividers
** EaDo Branding is Optional*
Website: rootlabtx.com
Location: Amenity Zone

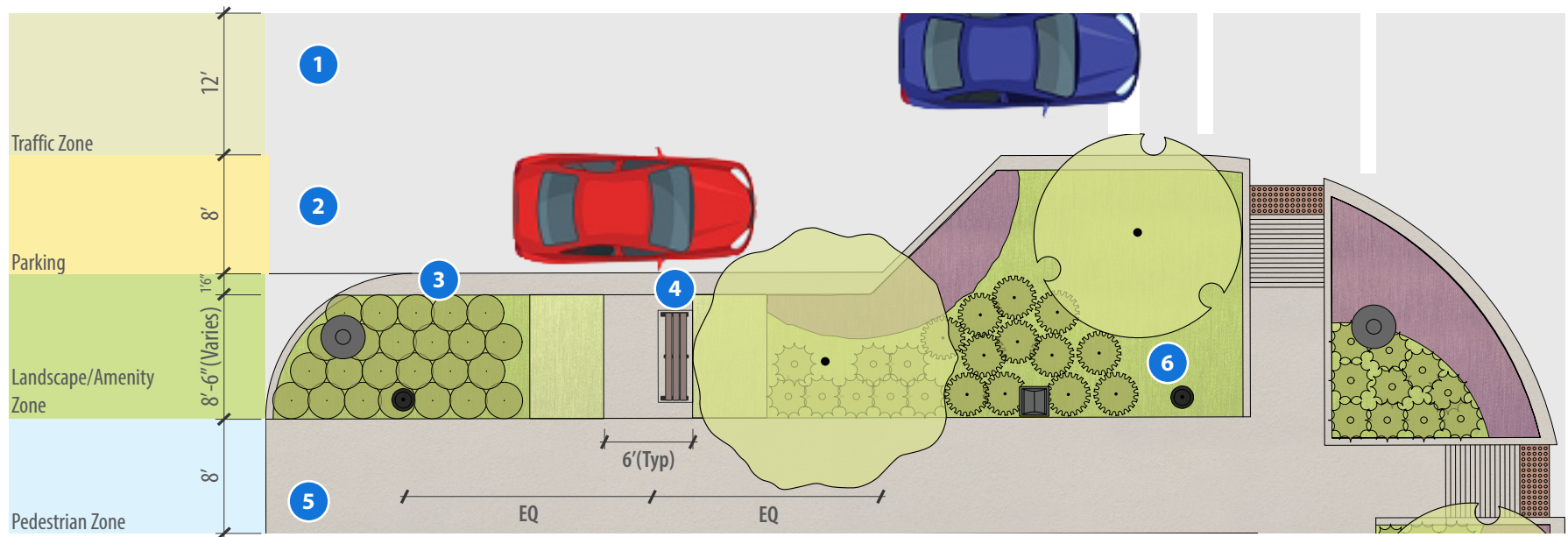
Manufacturer: Landscape Forms
Product Name: Austin Bench
Specifications: Backed or Backless
Low Sheen, Matte Black Metal
& Ipe Woodgrain
Surface Mounted or
Embedded in Concrete
Intermittent Dividers
Website: landscapeforms.com
Location: Amenity Zone

Goals

To provide an adequate amount of **durable** and **attractive seating** for diverse users and various pedestrian related activities.



Images: Root Lab | Landscape Forms



PLAN

Design Recommendations

Benches should be located outside the direct line of pedestrian traffic.

Seating materials should have minimum heat absorption characteristics.

Seating materials should be non-porous, splinter-proof and vandal resistant.

Seating units should be durable and stain resistant and sloped to shed water.

Seating should be designed to discourage lying horizontally, as well as skateboarding.

Application

The plan above illustrates the location of the pedestrian and landscape/amenity zones. Within each zone, the recommended location and minimum spacing of the concrete pad for the bench is described.

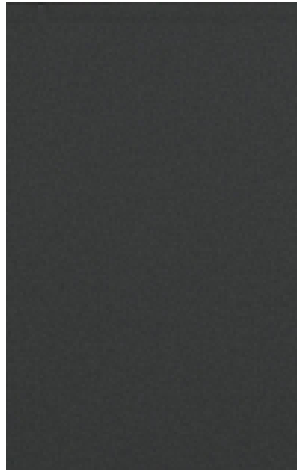
Mounting should be dependent on location. Possible mounting options should be verified by a Root Lab's (supplier) representative prior to design or installation.

Location of benches to be provided by the developers within the street ROW should be coordinated with the TIRZ's design consultant.

LEGEND

- 1 Street
- 2 Parking Lane
- 3 Curb
- 4 Bench
- 5 Sidewalk
- 6 Pedestrian Lighting

2.2.3 BICYCLE RACKS



| | |
|------------------------|--|
| Manufacturer: | Root Lab |
| Product Name: | EaDo Bike Rack |
| Specifications: | Black Powder Coated Stainless Steel Surface Mounted <i>* EaDo Branding is Optional</i> |
| Website: | rootlabtx.com |
| Location: | Amenity Zone |

Goals

To provide for **secure** temporary storage of bicycles along the sidewalk or pedestrian path.

Design Recommendations

Bicycle racks should be placed in areas near cyclist destinations.

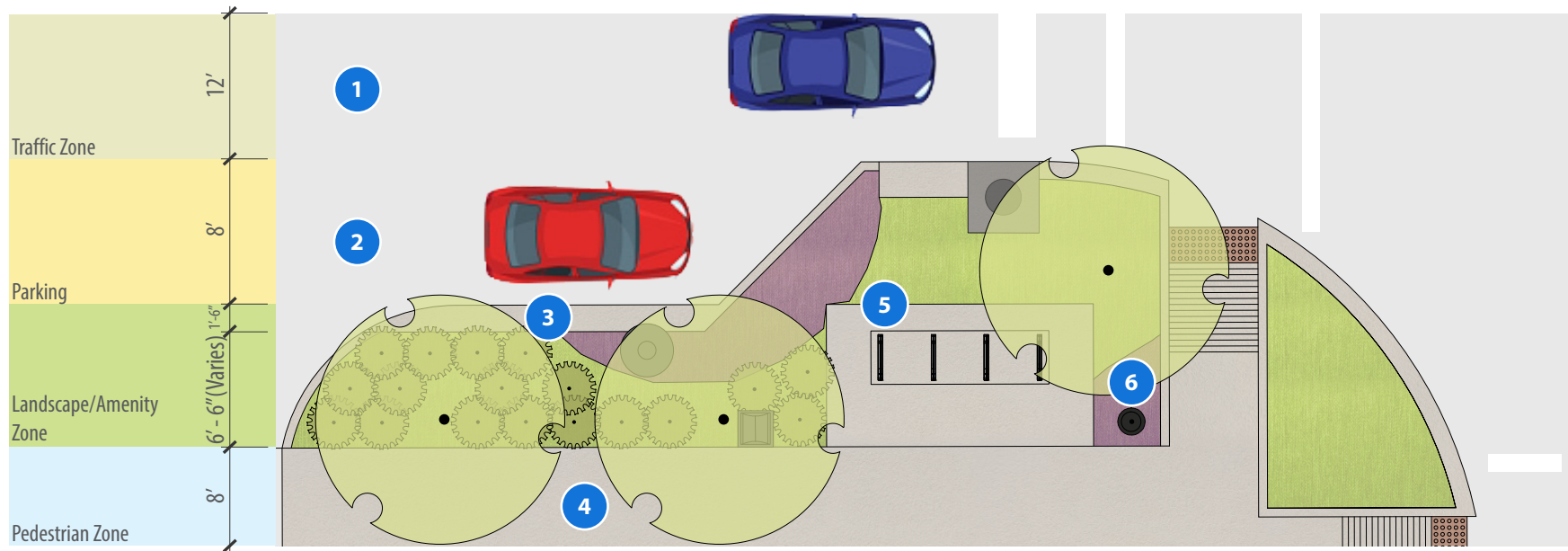
Bicycle parking areas should not impede pedestrian pathways.

Racks should be located in clearly visible and lit areas to maximize security.

Bicycles should be placed at a minimum of 36" apart from centerline to centerline.

One bicycle space is required for a building use that contains more than 5,000 SF of GFA. An additional space is required for each incremental 25,000 SF per City of Houston Code, Chapter 26, Sec 26-496.

Images: Root Lab



PLAN

Four additional bicycle spaces may be added to reduce one parking space requirement. The maximum reduction in the number of parking spaces shall be 10 percent of the number of parking spaces required per City of Houston Code, Chapter 26, Sec 26-497.

Application

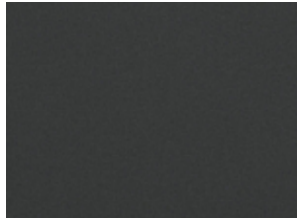
The plan above illustrates the location of the pedestrian and landscape/amenity zones. Within each zone, the recommended location and minimum spacing of the concrete pad for the bicycle racks is illustrated.

Mounting should be dependent on location. Possible mounting options should be verified by a Root Lab's (supplier) representative prior to design or installation.

LEGEND

- | | |
|------------------|------------------------------|
| 1 Street | 4 Sidewalk |
| 2 Parking | 5 Bicycle Rack |
| 3 Curb | 6 Pedestrian Lighting |

2.2.4 WASTE RECEPTACLES



| | |
|------------------------|---|
| Manufacturer: | Root Lab |
| Product Name: | EaDo Litter Bin |
| Specifications: | Black Powder Coated Stainless Steel and Rosewood Oil Ipe Wood Surface Mounted 30 Gallon Key Lock <i>* EaDo Branding is Optional</i> |
| Website: | rootlabtx.com |
| Location: | Amenity Zone |

Goals

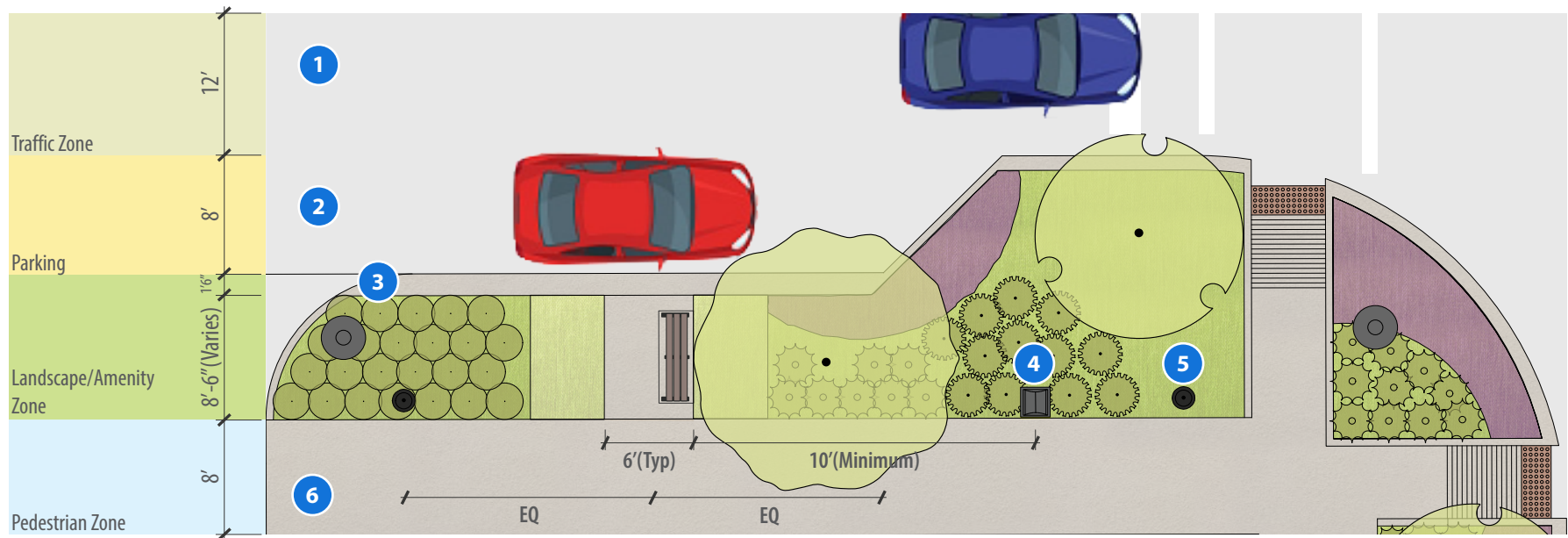
To provide for **convenient** and **hygienic** trash collection.

Trash bin to be **visually compatible** with the adjacent streetscape environment.

Design Recommendations

The placement of the waste receptacles should be a minimum 10' from benches, within the Amenity Zone.

Images: Root Lab



PLAN

Application

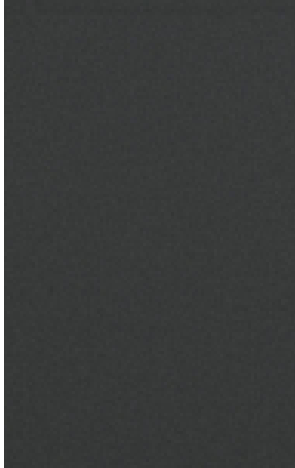
The plan above illustrates the location of the pedestrian and landscape/amenity zones. Within each zone, the recommended location and minimum spacing of the waste receptacle and the concrete pad for the benches are illustrated.

Mounting should be dependent on location. Possible mounting options should be verified by a Root Lab's (supplier) representative prior to design or installation.

LEGEND

- | | |
|------------------|------------------------------|
| 1 Street | 4 Waste Receptacle |
| 2 Parking | 5 Pedestrian Lighting |
| 3 Curb | 6 Sidewalk |

2.2.5 PEDESTRIAN LIGHTS



Manufacturer: Lumec
Product Name: Urbanscape
Specifications: Powder Coated Black
Aluminum
Surface Mounted
Website: signify.com
Location: Amenity Zone

Goals

To provide enhanced lighting along pedestrian areas supporting **safety** and **security**.

To minimize **discomfort** caused by **glare** from lighting fixtures and streetscape surfaces.

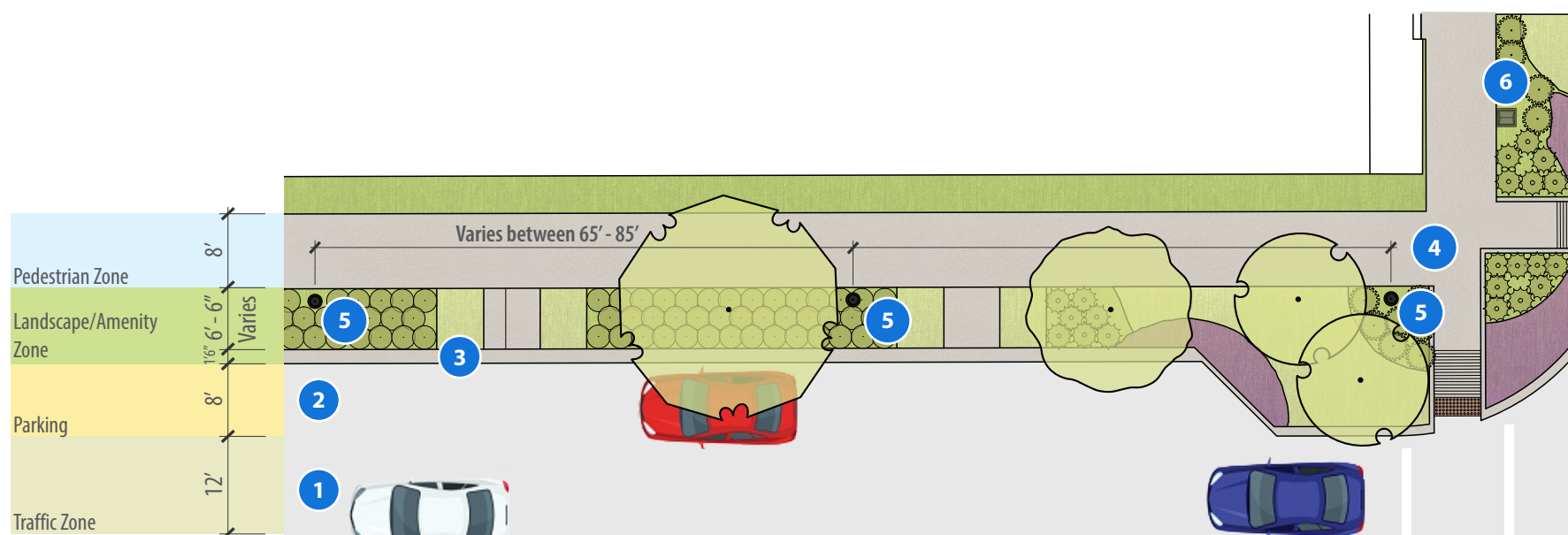
To promote **civic events** and other activities in the evening and after dark hours.

Design Recommendations

To respond to the changing volume but constant flow of vehicular and pedestrian traffic, a lighting design component “hierarchy” is recommended for use throughout the project area. This may create an enjoyable experience for the user in terms of variety and texture. Each discrete area may require a different situation, however, overall design application and equipment used should be consistent throughout.

Pedestrian luminaires which are shorter than roadway lights are more readily seen at the pedestrian scale. As such, they should play a major role in supporting the character of the

Images: Lumec



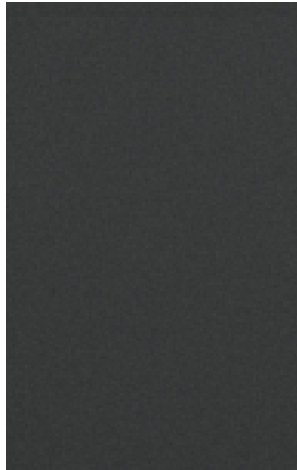
PLAN

area. Pole locations should be coordinated with street tree placement to minimize shadows from trees and to organize the street appearance.

LEGEND

- | | |
|-----------|-----------------------|
| 1 Street | 4 Sidewalk |
| 2 Parking | 5 Pedestrian Lighting |
| 3 Curb | 6 Waste Receptacle |

2.2.6 BOLLARD LIGHTS



| | |
|------------------------|---|
| Manufacturer: | Lumec |
| Product Name: | Sleekvision Bollard |
| Specifications: | Powder Coated Black Aluminum Surface Mounted or Removable if Needed Wired LED Light |
| Website: | signify.com |
| Location: | Special Area Accent Light |

Goals

To provide an accent area light in special areas.

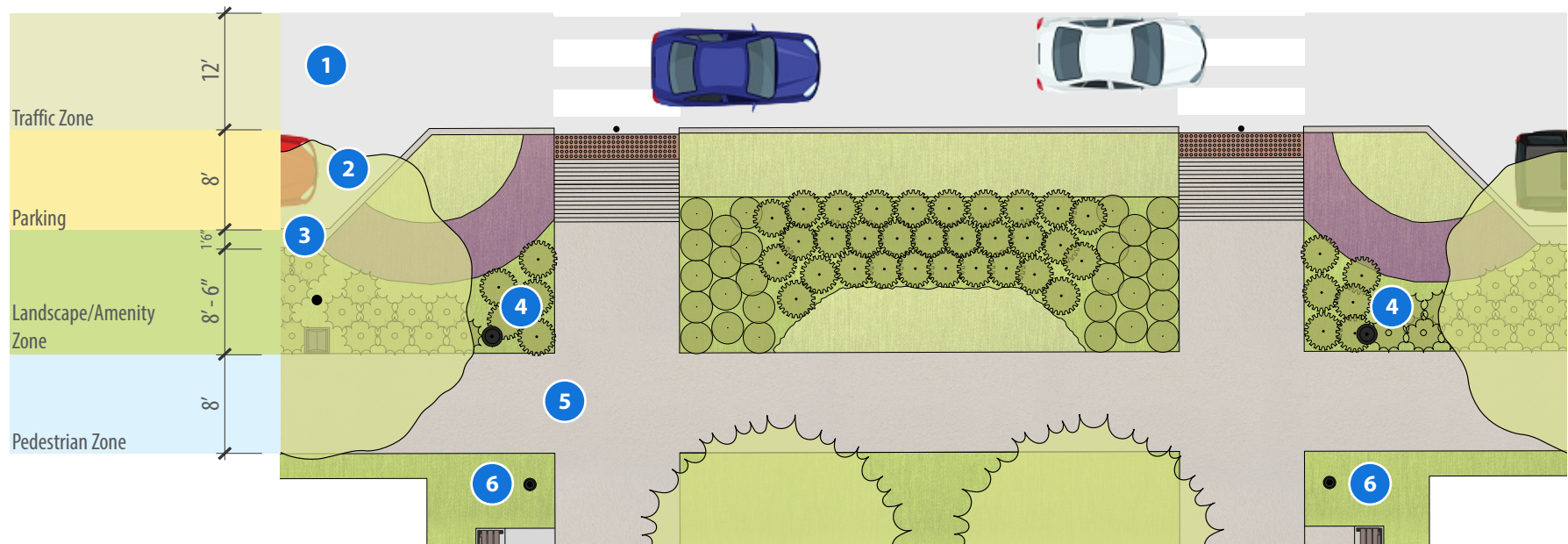
To promote **pedestrian activity** by highlighting public areas of interest as an amenity thus complementing adjacent retail and building illumination.

Design Recommendations

Accent lighting should be used to identify destination points, seating areas and should service special events.

All fixtures shall be UL listed for damp location. Electrical components shall be pre-wired with quick connect fasteners for ease of maintenance. All ballasts shall be a high power factor. When possible, lighting

Images: Lumec



PLAN

components and parts are standardized, to ensure ease of replacement and repair and image of the area. The developer should coordinate the location of pedestrian lighting relative to the boundary of the right of way with the TIRZ planning/design consultants.

LEGEND

- | | |
|---------------------------|------------------------------|
| 1 Street | 4 Pedestrian Lighting |
| 2 Parallel Parking | 5 Sidewalk |
| 3 Curb | 6 Bollard Light |

2.2.7 SIGNAGE



PRIMARY DISTRICT BRAND LOGO



REVERSE DISTRICT BRAND LOGO



SIMPLE DISTRICT BRAND LOGO



Design Recommendations

Three logo types:

- Primary
- Reverse
- Simple

Pantone Colors:

- Blue
 - CMYK: 85 62 32 12
 - RGB: 53 92 125
 - HEX: 355c7d
 - Pantone: 5405 C

- Orange
 - CMYK: 9 52 100 1
 - RGB: 225 139 38
 - HEX: e18b26
 - Pantone: 7413 C
- Lime
 - CMYK: 25 0 75 0
 - RGB: 199 220 105
 - HEX: c7dc69
 - Pantone: 374 C

Facit Extra Light
 abcdefghijklmnopqrstuvwxyz
 ABCDEFGHIJKLMNOPQRSTUVWXYZ
 0123456789#

Facit Regular
 abcdefghijklmnopqrstuvwxyz
 ABCDEFGHIJKLMNOPQRSTUVWXYZ
 0123456789#

Facit Semibold
 abcdefghijklmnopqrstuvwxyz
 ABCDEFGHIJKLMNOPQRSTUVWXYZ
 0123456789#

Carbon Thin
 abcdefghijklmnopqrstuvwxyz
 ABCDEFGHIJKLMNOPQRSTUVWXYZ
 0123456789#

Carbon Bold
 abcdefghijklmnopqrstuvwxyz
 ABCDEFGHIJKLMNOPQRSTUVWXYZ
 0123456789#

PRIMARY TYPOGRAPHY

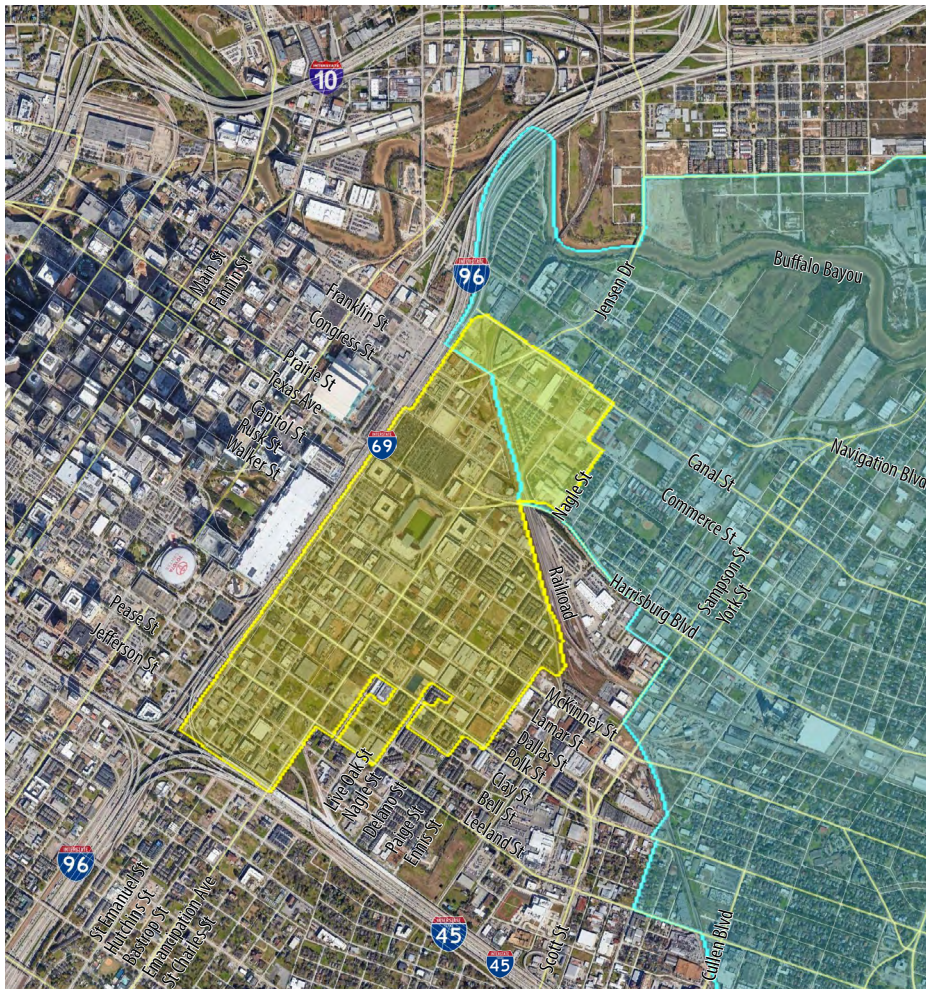
- Smoke
 - CMYK: 70 58 52 32
 - RGB: 73 81 86
 - HEX: 495156
Pantone: 445 C

HEADINGS/CALLOUTS/ACCENTS TYPOGRAPHY

Font Family:

- Primary
 - Facit Extra Light
 - Facit Regular
 - Facit Semi Bold
- Headings/Callouts/Accents
 - Carbon Thin
 - Carbon Bold

2.3 EAST END DISTRICT



All improvements within the TIRZ 15 and East End District are encouraged to follow the guidelines described in some detail below. Before commencing redevelopment work the developer is encouraged to contact the Management District to ensure that the guidelines to be used are up to date.

The guidelines are intended to be TIRZ 15 board approved recommendations, but do not supersede any codes or ordinances adopted by the City of Houston, other governmental agencies as well as private utility companies.

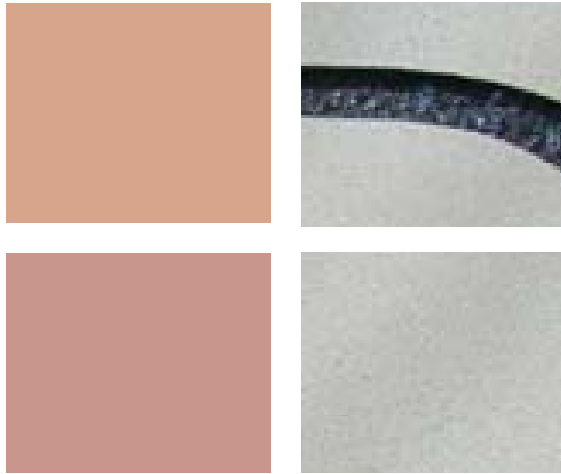
For amenity related information, please contact the East End District and for additional information, visit

<https://www.eastenddistrict.com/design-resources/>.

LEGEND

- TIRZ 15
- East End District

2.3.1 SIDEWALKS



LEGEND

- 1 Ramp/Landing Connection
- 2 Street Name Marker
- 3 Bronze Medallion
- 4 Sidewalk Landing Pad
- 5 Sidewalk Landing Pad
- 6 Retaining Wall/Sidewalk @ROW

Design Recommendations

Ramp/Landing Connection:

- Landing should be concrete brick pavers in herringbone pattern using Pavestone Holland series with Georgia Blend color
- Ramp should be grooved colored concrete (brick red)
- Truncated dome edges (charcoal) should be used as detectable warning pavers.

Street Name Markers:

- 1/4" Sandblasted text of street names in cast stone.

Bronze Medallion:

- 16" Diameter bronze medallion placed after the landing brick pavers.

Sidewalk Landing Pads:

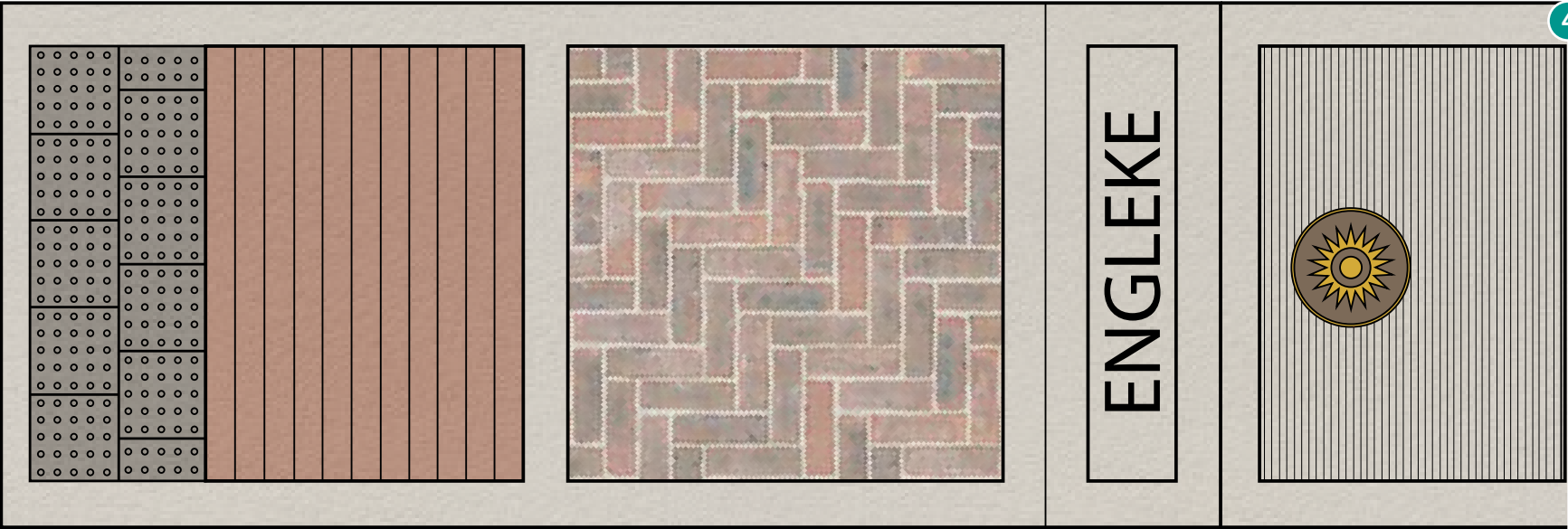
- Landings should have detectable warning signs.

Retaining Walls:

- Maintain landscape along sidewalks in place.
- Act as detectable warning signs when going up and down ramps.

Images: Google

4



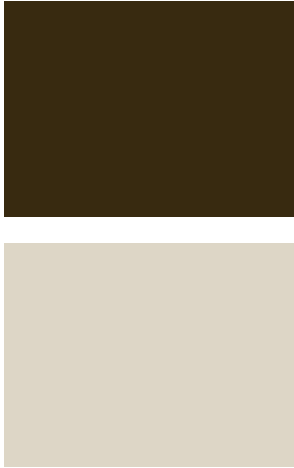
5



6



2.3.2 MEDALLION SIGNAGE



Design Recommendations

16" diameter bronze medallion

Satin bronze on raised areas with leatherette texture on background painted a dark oxide stain

Medallion to be flush with concrete walk grade

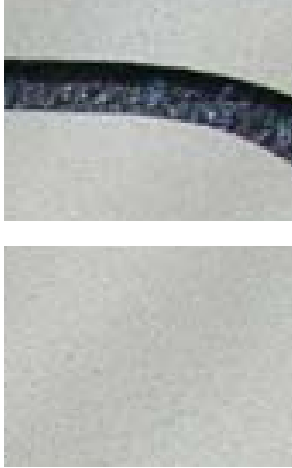
Refer to specifications and detailed drawing from East End District for proper location on sidewalk

Final design and specifications will be provided by the East End District upon request.

Images: East End District; Google



2.3.3 CAST STONE

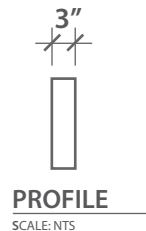


Design Recommendations

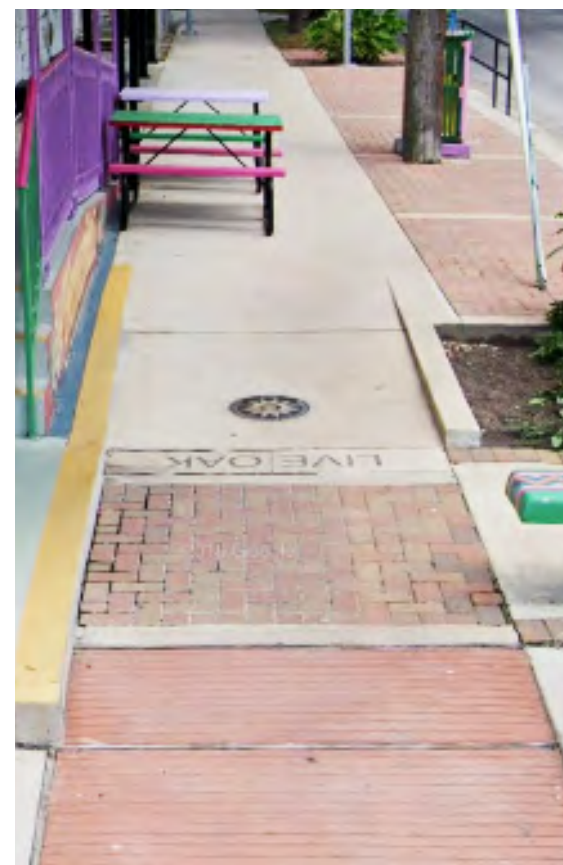
All cast stone panels to be manufactured as dimensioned above. Cast stone letters to be sandblasted and painted dupont 3258 dark bronze urethane with catalyst. Color specified can be sourced from:

Carr-Redwine Inc.
7101 Long Drive Houston, TX 77087
(713) 643-2691

Letter font type is arial centered both ways.
Depth of sandblast to be maximum 1/4" deep.
Cast stone color to match existing.



Images: Google



2.3.4 PEDESTRIAN LIGHTS



Design Recommendations

Color Finishes:

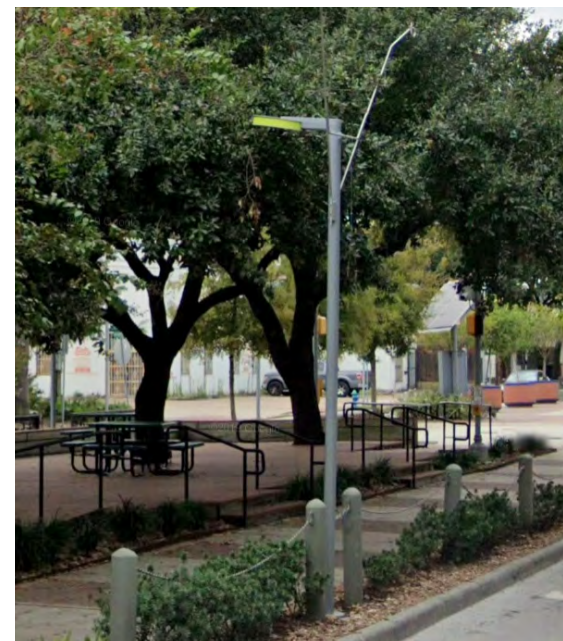
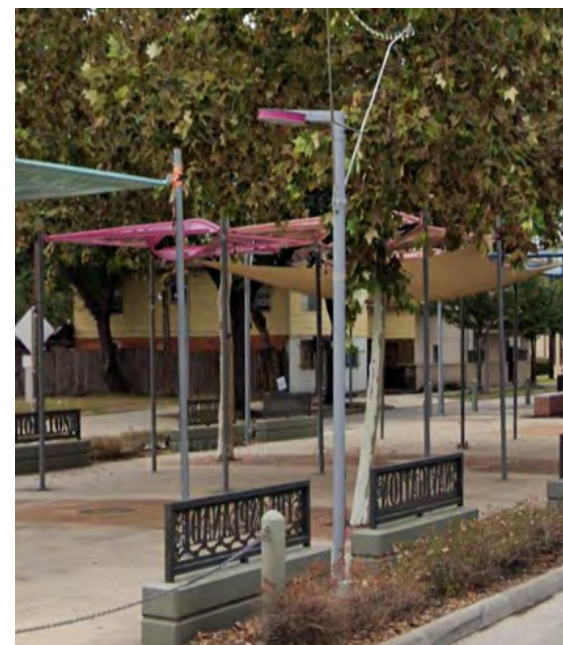
1. Matthews MP 32195 "Staid Gray", acrylic polyurethane, semi-gloss
2. Matthews MP 10158 "Just Gray", acrylic polyurethane, gloss finish
3. Matthews MP 26749 "Spring Green", acrylic polyurethane, semi-gloss
4. Matthews MP 24340 "Mardi Gras Teal", acrylic polyurethane, semi-gloss
5. Matthews MP 12601 "Kiwano Orange", acrylic polyurethane, semi-gloss
6. Matthews MP 11477 "Bright White", acrylic polyurethane, semi-gloss

7. Pantone 7468 C Dark Blue

LED Specifications:

- 16, 4000K (neutral) Philips Lumileds Luxeon R LED's, injection molded, acrylic optical plates, IP66 rated LED array, type II light distribution.
- Integral Philips Advance Xitanium LED driver, class 1, IP66 rated, 350mA, IntelliVolt 120-277 VAC, RoHS compliant, >3kV surge suppression built in, RoHS compliant.
- Dimming Schedule:
 - 100% - 5:30-10:35 PM
 - 70% - 10:36-12:55 AM
 - 40% - 12:56-4:00 AM
 - 70% - 4:01-7:13 AM

Images: Google



2.3.5 SIGNAGE



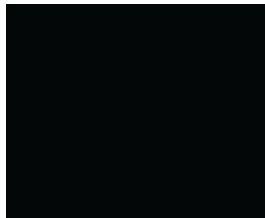
DISTRICT BRAND - SQUARE LOGO PATTERN



DISTRICT BRAND - RECTANGULAR LOGO PATTERN 1



DISTRICT BRAND - RECTANGULAR LOGO PATTERN 2



Design Recommendations

Pantone Colors:

- 2eb7c7
- 000000
- ffffff

Font Family: Cervo Regular

Acceptable Alternate Fonts:

- All White
- All Black

Logo Background:

- "East End" in black - light background
- "East End" in white - dark background



CULTURAL DISTRICT WALL PANEL

Design Recommendations

Cultural District Wall Panel to be building mounted and should be 1'-0" x 1'-0".

Pantone Colors:

- 375 C Green
- 021 C Orange
- 3115 C Light Blue
- 7468 C Dark Blue
- 80% Black

Sign system consists of simple components and standard fabrication techniques & materials: painted aluminum sign posts with aluminum panels painted with industrial paints; vinyl and painted graphics; tamper-proof stainless steel hardware.

For more detailed information regarding wayfinding and signage standards, contact the East End District.

ABCDEFGHIJKLMNOPQRSTUVWXYZ
abcdefghijklmnopqrstuvwxyz 1234567890
CERVO REGULAR

ABCDEFGHIJKLMNOPQRSTUVWXYZ
abcdefghijklmnopqrstuvwxyz 1234567890
CERVO MEDIUM

ABCDEFGHIJKLMNOPQRSTUVWXYZ
abcdefghijklmnopqrstuvwxyz 1234567890
CERVO MEDIUM ITALIC

SIGNS - PROJECT TYPE STYLES

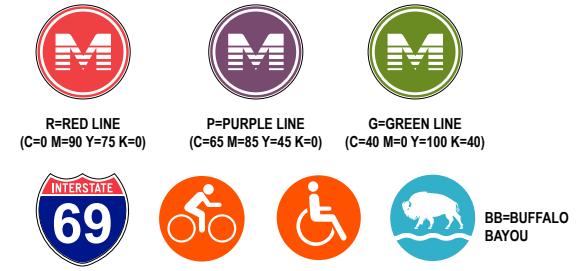


Project Finishes

1. Matthews MP 32195 "Staid Gray", acrylic polyurethane, semi-gloss
2. Matthews MP 10158 "Just Gray", acrylic polyurethane, gloss finish
3. Matthews MP 26749 "Spring Green", acrylic polyurethane, semi-gloss
4. Matthews MP 24340 "Mardi Gras Teal", acrylic polyurethane, semi-gloss
5. Matthews MP 12601 "Kiwano Orange", acrylic polyurethane, semi-gloss
6. Matthews MP 11477 "Bright White", acrylic polyurethane, semi-gloss
7. Matthews Clear Coat MP 42228SP, semi-gloss



SIGNS - PROJECT SYMBOLS



SIGNS - PROJECT SYMBOLS

Project Materials

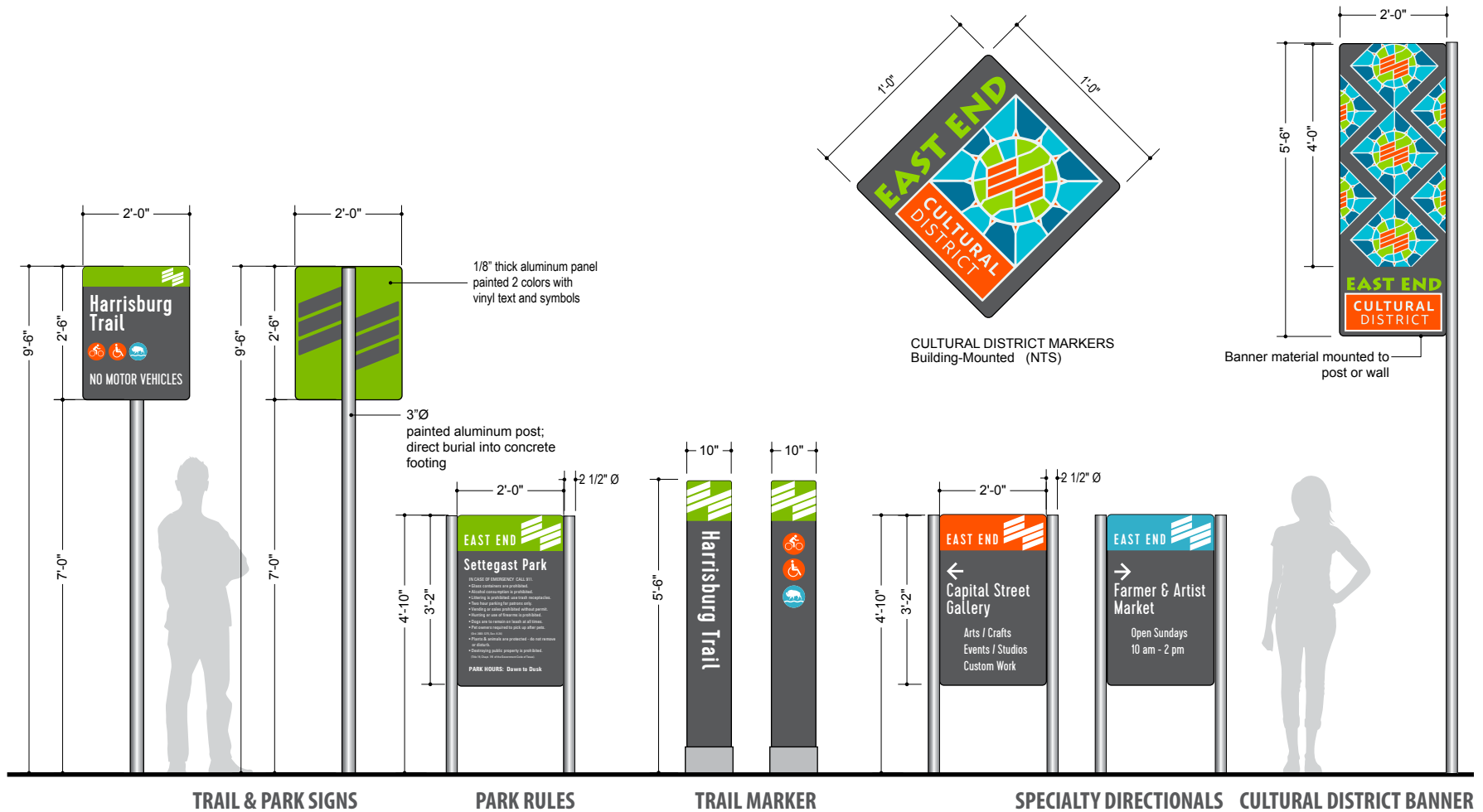
Sign Panels: Aluminum sheeting; .125 or .25 as specified in drawings

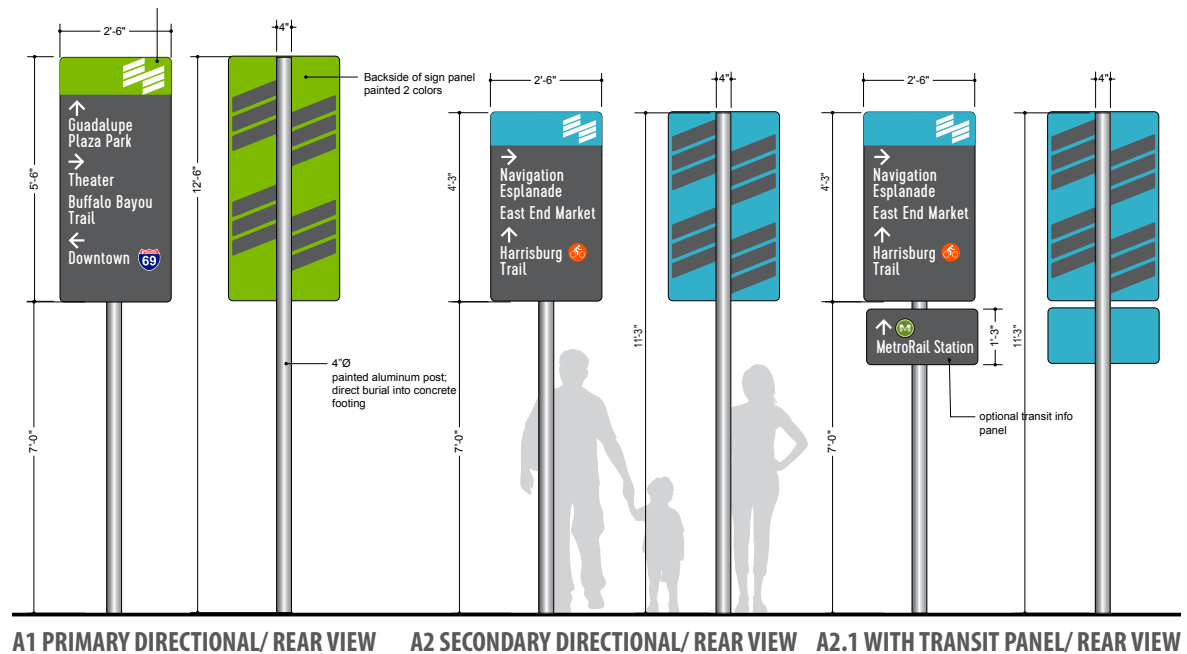
Sign Posts: Round extruded aluminum posts; diameter as specified (6061 T6 Schedule 40)

Paints: Matthews Acrylic Polyurethanes, semi-gloss for sign panels; hi-gloss for posts

Vinyl Text/Graphics: 3M Scotchcal Graphic Film, 7725-White

Map Panels: i-Zone 1/8" thick High-density Laminate, Exterior, Ice finish



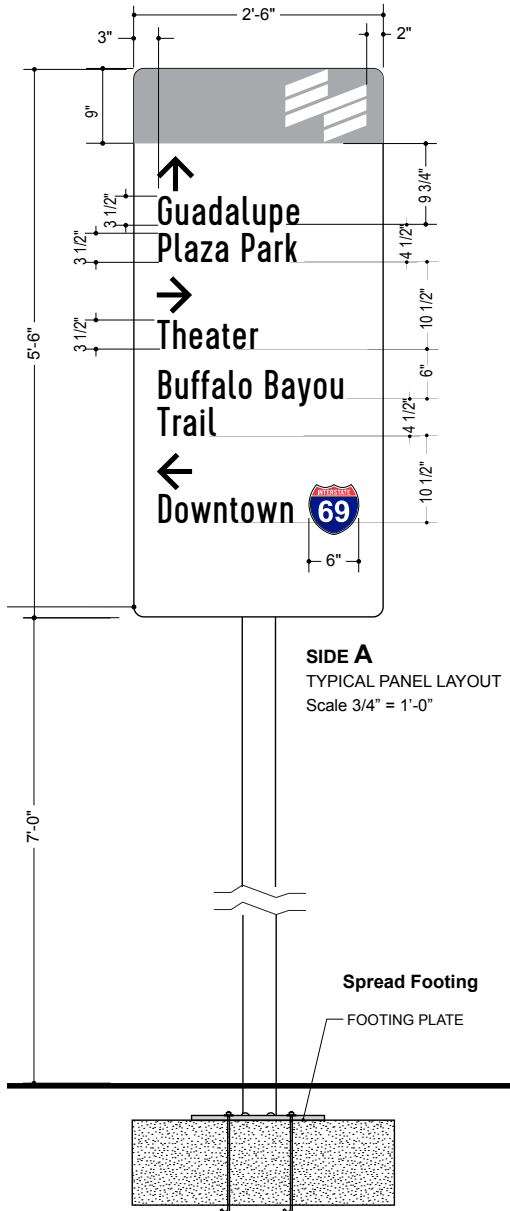


Directional Specifications/Notes

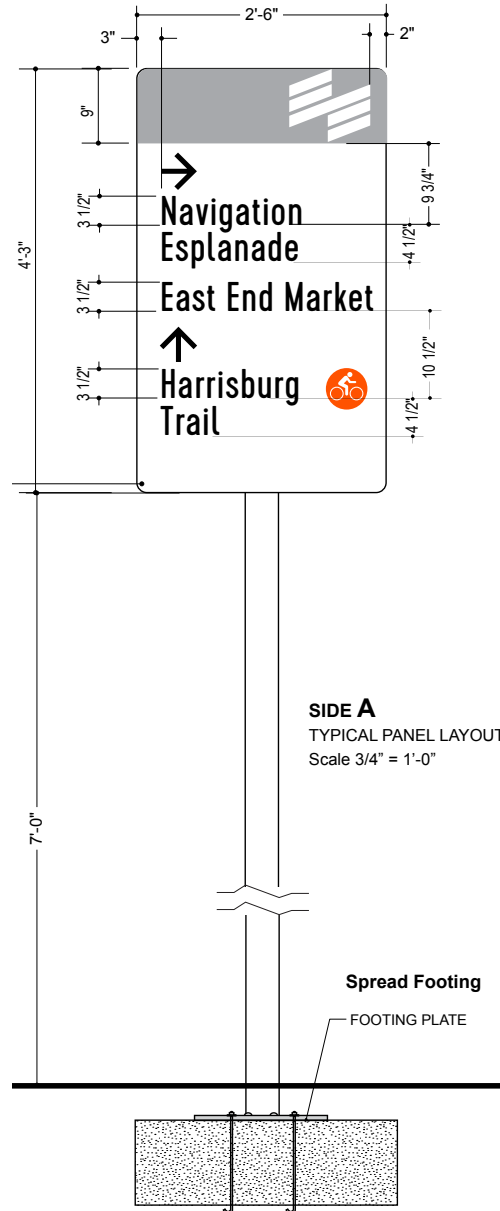
1. SIGN PANEL: 1/8" (.125) aluminum panel painted P-1 & P-4 semi-gloss finish. Edges to be radiused. Panel to be mounted to post with carriage bolts or brackets painted to match. Components to be engineered to conform to code-specified wind loads.
2. TEXT & ARROWS and LOGO at top of sign face are 3M 7725 White vinyl. TYPEFACE is CERVO REGULAR. 3. SIGN POST is 4" Ø round aluminum post painted P-2: Matthews MP 10158 "Just Gray", hi-gloss. Post to be mounted to spread-footing

engineered and provided by fabricator, unless mounted to concrete surface where post is to be welded to base plate and anchored to concrete surface. FABRICATOR is responsible for development of detailed shop drawings showing structural components, connections, hardware, and specifications. Fabricator is also responsible for drawings showing connections to foundations. Structural details shown are for design intent only.

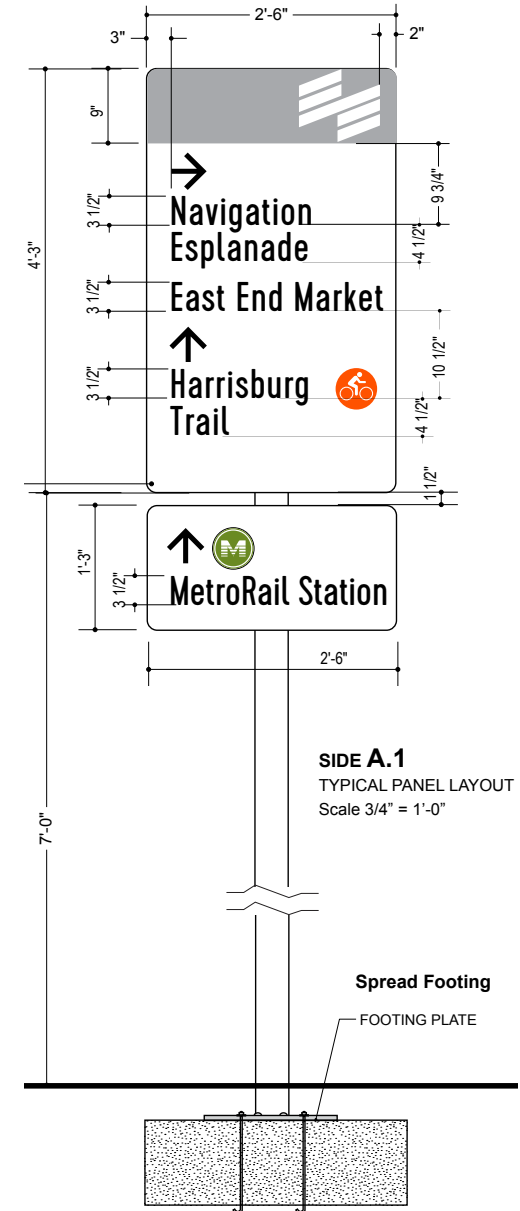
All structural drawings must be sealed by an engineer.



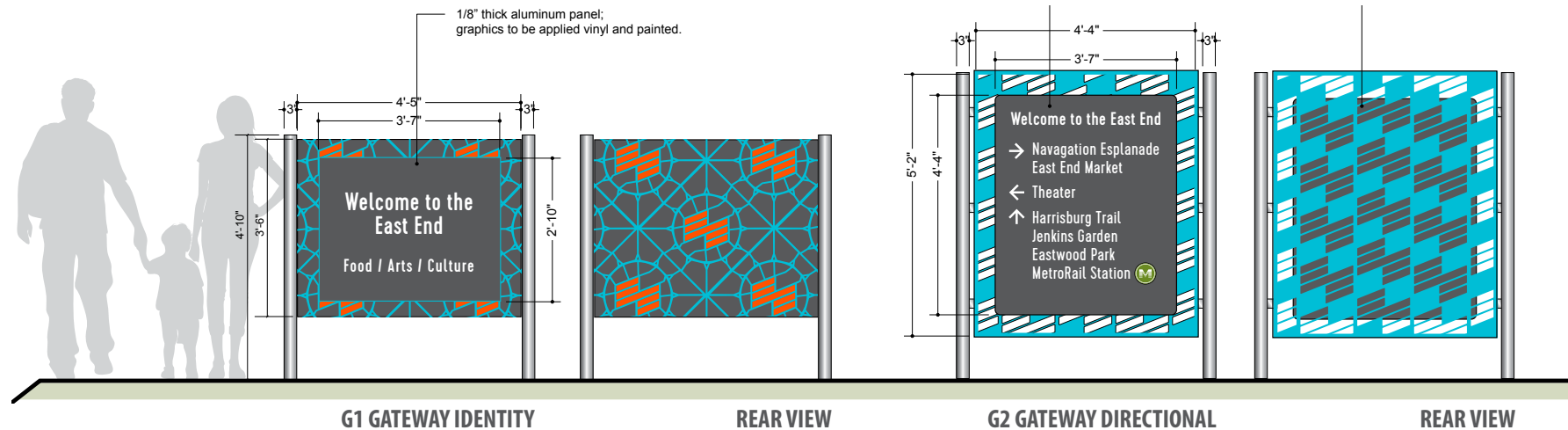
A1 PRIMARY DIRECTIONAL



A2 SECONDARY DIRECTIONAL



A2.1 WITH TRANSIT PANEL



Specifications/ Notes

Sign system consists of simple components and standard fabrication techniques & materials: painted aluminum sign posts with aluminum panels painted with industrial paints; vinyl and painted graphics; tamper-proof stainless steel hardware.

1. Fabricator is required to submit four (4) 6" x 6" samples each of specified color on material base indicated per drawings for review and approval by the Owner and Designer. Paint samples must be finished according to specifications.
2. Fabricator to provide four (4) samples of

vinyl specified and brushed stainless steel finish samples.

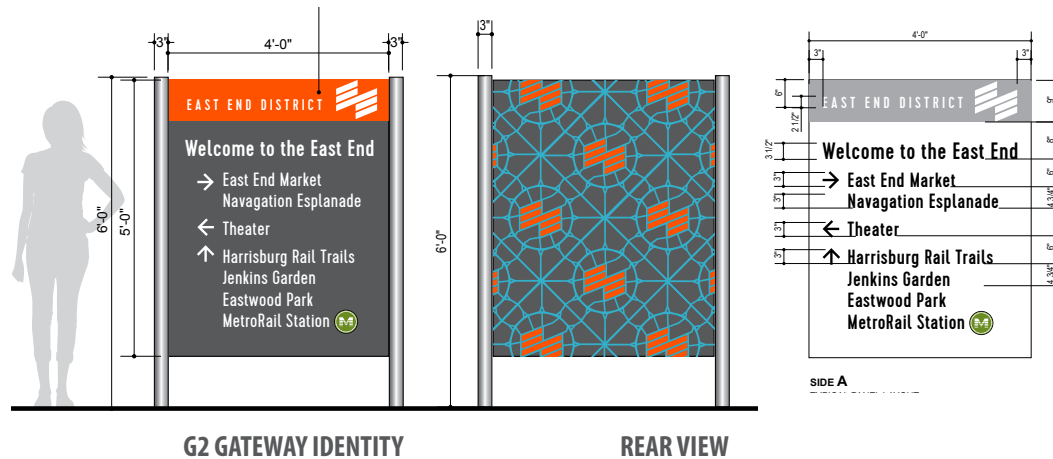
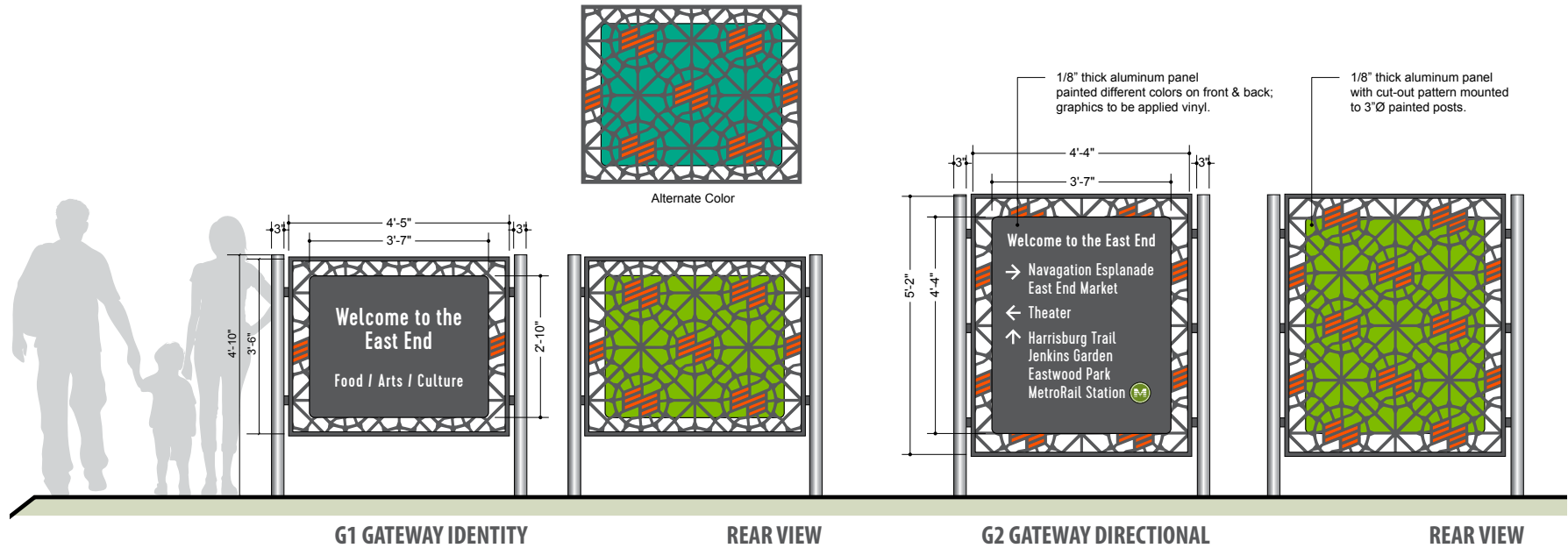
3. Matthews Acrylic Polyurethane paints are to be used on sign panels. Surfaces must be primed as specified by the manufacturer and paints must be applied according to manufacturer's specifications.
4. "MP" color codes refer to Matthews Acrylic Polyurethane paints manufactured by Matthews Paint Company (1-800-323-6593).
5. Sign pylon, posts, and footings are stainless steel with a vertical-brushed finish. All mounting and structural hardware should be stainless steel.

Design Standards for Small Cell Poles

Small cell poles should match the District's standard pole color design of lighting and wayfinding poles. For reference, the paint is Matthews Paint #10158 Just Gray, glossy.

Single, round, smooth surface pole.

Small cell components and wiring should be encased with the new small cell pole.





Llewelyn-Davies Sahni
5120 Woodway Dr. Suite 8010
Houston, TX 77056
www.theldnet.com

in association with



EHRA Engineering
10011 Meadowglen Ln.
Houston, TX 77042
www.ehrainc.com

Contact | Sherry@edratirz15.org

CITY OF HOUSTON
ECONOMIC DEVELOPMENT DIVISION
FISCAL YEAR 2022 BUDGET PROFILE

Fund Summary
Fund Name: **East Downtown Redevelopment Authority**
TIRZ: **15**
Fund Number: **7563/50**

| | | |
|--|--|-----------------|
| P R O F I L E | Base Year: | 1999 |
| | Base Year Taxable Value: | \$ 121,026,714 |
| | Projected Taxable Value (TY2021): | \$ 723,732,226 |
| | Current Taxable Value (TY2020): | \$ 695,896,371 |
| | Acres: | 387.01 |
| | Administrator (Contact): | City of Houston |
| | Contact Number: | (832) 393-0981 |

| | |
|--|--|
| N A R R A T I V E | Zone Purpose: |
| | Tax Increment Reinvestment Zone Number Fifteen, City of Houston, Texas was created to facilitate the development of public infrastructure improvements, parking facilities, and assist with the revitalization of old Chinatown from an abandoned and deteriorated neighborhood into a mixed-use district that includes retail, commercial, residential and entertainment development land uses. |

| P R O J E C T P L A N | | Total Plan | Cumulative Expenses (to 6/30/20) | Variance |
|---|--|-------------------|---|-----------------|
| | | | | |
| P R O J E C T P L A N | Capital Projects: | | | |
| | Public Utilities | \$ 19,553,850 | \$ 714,187 | \$ 18,839,663 |
| | Roadway and Sidewalk Improvements | 36,119,750 | 15,933,106 | 20,186,644 |
| | Cultural and Public Facilities | 36,000,000 | 30,992,712 | 5,007,288 |
| | Parks and Recreational Facilities | 5,000,000 | 100,000 | 4,900,000 |
| | Environmental Remediation | 1,000,000 | - | 1,000,000 |
| | | - | - | - |
| | | - | - | - |
| | | - | - | - |
| | Total Capital Projects | \$ 97,673,600 | \$ 47,740,005 | \$ 49,933,595 |
| P L A N | Homeless/Affordable Housing | 8,000,000 | 1,459,420 | 6,540,580 |
| | School & Education/Cultural Facilities | 13,201,622 | 6,123,006 | 7,078,616 |
| | Financing Costs | 30,822,727 | 4,335,370 | 26,487,357 |
| | Administration Costs/ Professional Services | 3,090,000 | 5,599,801 | (2,509,801) |
| | Creation Costs | - | - | - |
| | Total Project Plan | \$ 152,787,949 | \$ 65,257,602 | \$ 87,530,347 |

| D E B T | Additional Financial Data | FY2021 Budget | FY2021 Estimate | FY2022 Budget |
|----------------------------|---|------------------------------|--|--|
| | | | | |
| D E B T | Debt Service | \$ 2,080,168 | \$ 2,080,168 | \$ 2,594,202 |
| | Principal | \$ 1,310,000 | \$ 1,310,000 | \$ 1,640,000 |
| | Interest | \$ 770,168 | \$ 770,168 | \$ 954,202 |
| D E B T | | Balance as of 6/30/20 | Projected Balance as of 6/30/21 | Projected Balance as of 6/30/22 |
| | Year End Outstanding (Principal) | | | |
| | Bond Debt | \$ - | \$ - | \$ - |
| | Bank Loan | \$ 20,150,000 | \$ 18,840,000 | \$ 17,200,000 |
| | Line of Credit | \$ - | \$ - | \$ - |
| | Developer Agreement | \$ - | \$ - | \$ - |
| | Other | \$ - | \$ - | \$ - |

CITY OF HOUSTON
ECONOMIC DEVELOPMENT DIVISION
FISCAL YEAR 2022 BUDGET DETAIL

Fund Summary
Fund Name: East Downtown Redevelopment Authority
TIRZ: 15
Fund Number: 7563/50

| TIRZ Budget Line Items | FY2021 Budget | FY2021 Estimate | FY2022 Budget |
|---|----------------------|----------------------|----------------------|
| RESOURCES | | | |
| RESTRICTED Funds - Capital Projects | \$ 10,722,608 | \$ 10,796,018 | \$ 12,039,011 |
| RESTRICTED Funds - Affordable Housing | \$ - | \$ - | \$ - |
| RESTRICTED Funds - Bond Debt Service | \$ 1,849,352 | \$ 2,315,570 | \$ 2,315,570 |
| Beginning Balance | \$ 12,571,960 | \$ 13,111,588 | \$ 14,354,581 |
| City tax revenue | \$ 3,013,586 | \$ 3,145,188 | \$ 3,297,497 |
| County tax revenue | \$ 1,791,474 | \$ 1,791,474 | \$ 1,895,002 |
| ISD tax revenue | \$ 1,493,522 | \$ 1,493,522 | \$ 1,493,522 |
| Community College tax revenue | \$ - | \$ - | \$ - |
| Incremental property tax revenue | \$ 6,298,582 | \$ 6,430,184 | \$ 6,686,021 |
| | \$ - | \$ - | \$ - |
| | \$ - | \$ - | \$ - |
| | \$ - | \$ - | \$ - |
| Miscellaneous revenue | \$ - | \$ - | \$ - |
| COH TIRZ interest | \$ 1,342 | \$ 1,342 | \$ 1,342 |
| Interest Income | \$ 60,000 | \$ 100,000 | \$ 10,000 |
| Other Interest Income | \$ 61,342 | \$ 101,342 | \$ 11,342 |
| | \$ - | \$ - | \$ - |
| | \$ - | \$ - | \$ - |
| Grant Proceeds | \$ - | \$ - | \$ - |
| | \$ 8,000,000 | \$ - | \$ - |
| Proceeds from Bank Loan | \$ 8,000,000 | \$ - | \$ - |
| | \$ - | \$ - | \$ - |
| Contract Revenue Bond Proceeds | \$ - | \$ - | \$ - |
| TOTAL AVAILABLE RESOURCES | \$ 26,931,884 | \$ 19,643,114 | \$ 21,051,944 |

CITY OF HOUSTON
ECONOMIC DEVELOPMENT DIVISION
FISCAL YEAR 2022 BUDGET DETAIL

Fund Summary
Fund Name: East Downtown Redevelopment Authority
TIRZ: 15
Fund Number: 7563/50

| TIRZ Budget Line Items | FY2021 Budget | FY2021 Estimate | FY2022 Budget |
|---|----------------------|----------------------|----------------------|
| EXPENDITURES | | | |
| Accounting | \$ 18,000 | \$ 12,000 | \$ 20,000 |
| Administration Salaries & Benefits | \$ 60,000 | \$ 51,000 | \$ 75,000 |
| Auditor | \$ 20,000 | \$ 21,000 | \$ 25,000 |
| Tax Consultant | \$ 6,000 | \$ 5,000 | \$ 6,000 |
| Insurance | \$ 2,000 | \$ 2,006 | \$ 2,000 |
| Office Administration | \$ 20,000 | \$ 5,000 | \$ 20,000 |
| TIRZ Administration and Overhead | \$ 126,000 | \$ 96,006 | \$ 148,000 |
| Engineering Consultants | \$ 50,000 | \$ 65,000 | \$ 50,000 |
| Legal | \$ 25,000 | \$ 25,000 | \$ 50,000 |
| Construction Audit | \$ - | \$ - | \$ - |
| Planning Consultants | \$ 50,000 | \$ 10,000 | \$ 50,000 |
| Program and Project Consultants | \$ 125,000 | \$ 100,000 | \$ 150,000 |
| Management consulting services | \$ 251,000 | \$ 196,006 | \$ 298,000 |
| Capital Expenditures (See CIP Schedule) | \$ 5,695,000 | \$ 804,000 | \$ 7,040,000 |
| TIRZ Capital Expenditures | \$ 5,695,000 | \$ 804,000 | \$ 7,040,000 |
| SEARCH | \$ - | \$ - | \$ - |
| EADO Construction | \$ - | \$ - | \$ - |
| HOU Construction | \$ - | \$ - | \$ - |
| Live Oak | \$ - | \$ - | \$ - |
| East Village | \$ 82,528 | \$ 82,528 | \$ 82,528 |
| Pease Street Improvements - EDGE Project | \$ - | \$ 175,000 | \$ 175,000 |
| Bike Share Facilities | \$ - | \$ 33,500 | \$ - |
| Commerce and Canal | \$ - | \$ - | \$ 50,000 |
| Developer / Project Reimbursements | \$ 82,528 | \$ 291,028 | \$ 257,528 |
| Debt Service to Stadium Infrastructure | | | |
| Principal | \$ 1,310,000 | \$ 1,310,000 | \$ 1,640,000 |
| Interest | \$ 770,168 | \$ 770,168 | \$ 954,202 |
| Cost of Issuance | \$ - | \$ - | \$ - |
| Line of Credit | \$ - | \$ - | \$ - |
| Principal | \$ - | \$ - | \$ - |
| Interest | \$ - | \$ - | \$ - |
| Stadium Land Purchase - County Payment to COH | \$ 654,784 | \$ 654,784 | \$ 692,623 |
| System debt service | \$ 2,734,952 | \$ 2,734,952 | \$ 3,286,825 |
| TOTAL PROJECT COSTS | \$ 8,763,480 | \$ 4,025,986 | \$ 10,882,353 |
| Payment/transfer to ISD - educational facilities | \$ 497,841 | \$ 497,841 | \$ 497,841 |
| Payment/transfer to ISD - educational facilities (Pass Through) | \$ - | \$ - | \$ - |
| Administration Fees: | | | |
| City | \$ 150,679 | \$ 157,259 | \$ 164,875 |
| County | \$ - | \$ - | \$ - |
| ISD | \$ 25,000 | \$ 25,000 | \$ 25,000 |
| HCC | \$ - | \$ - | \$ - |
| Affordable/Homeless Housing: | | | |
| City | \$ - | \$ - | \$ - |
| County | \$ 268,721 | \$ 268,721 | \$ 284,250 |
| ISD to City of Houston | \$ - | \$ - | \$ - |
| Municipal Services Charge | \$ 313,726 | \$ 313,726 | \$ 313,726 |
| Total Transfers | \$ 1,255,967 | \$ 1,262,547 | \$ 1,285,692 |
| Total Budget | \$ 10,019,447 | \$ 5,288,533 | \$ 12,168,045 |
| RESTRICTED Funds - Capital Projects | \$ 14,781,835 | 12,039,011 | 6,753,297 |
| RESTRICTED Funds - Affordable Housing | \$ - | - | - |
| RESTRICTED Funds - Bond Debt Service | \$ 2,130,602 | 2,315,570 | 2,130,602 |
| RESTRICTED Funds - Dynamo Surplus | \$ - | - | - |
| Ending Fund Balance | \$ 16,912,437 | \$ 14,354,581 | \$ 8,883,899 |
| Total Budget & Ending Fund Balance | \$ 26,931,884 | \$ 19,643,114 | \$ 21,051,944 |

Notes:

| TIRZ 15 | FY2021 | FY2022 | FY2023 | FY2024 | FY2025 | FY2026 |
|--|---------------|---------------|---------------|--------------|--------------|--------------|
| City | \$ 3,145,188 | \$ 3,297,497 | \$ 3,455,899 | \$ 3,620,637 | \$ 3,791,965 | \$ 3,970,145 |
| County | \$ 1,791,474 | \$ 1,895,002 | \$ 2,002,671 | \$ 2,114,647 | \$ 2,231,102 | \$ 2,352,215 |
| ISD | \$ 1,493,522 | \$ 1,493,522 | \$ 1,493,522 | \$ 1,493,522 | \$ 1,493,522 | \$ 1,493,522 |
| ISD - Pass Through | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| INCREMENT REVENUES (1) | \$ 6,430,184 | \$ 6,686,021 | \$ 6,952,092 | \$ 7,228,806 | \$ 7,516,589 | \$ 7,815,882 |
| CITY OF HOUSTON | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| GRANT PROCEEDS (5) | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| MISCELLANEOUS REVENUE | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| INTEREST INCOME | \$ 101,342 | \$ 11,342 | \$ 28,029 | \$ - | \$ 3,992 | \$ 636 |
| PROCEEDS FROM BANK LOAN | \$ - | | \$ - | \$ - | \$ - | \$ - |
| TOTAL RESOURCES | \$ 6,531,526 | \$ 6,697,363 | \$ 6,980,121 | \$ 7,228,806 | \$ 7,520,581 | \$ 7,816,518 |
| ISD Education Set-Aside | \$ 497,841 | \$ 497,841 | \$ 497,841 | \$ 497,841 | \$ 497,841 | \$ 497,841 |
| ISD Education Set-Aside - Pass Through | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| Affordable Housing | | | | | | |
| City | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| County | \$ 268,721 | \$ 284,250 | \$ 300,401 | \$ 317,197 | \$ 334,665 | \$ 352,832 |
| ISD | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| Municipal Services | \$ 313,726 | \$ 313,726 | \$ 313,726 | \$ 313,726 | \$ 313,726 | \$ 313,726 |
| Administrative Fees | | | | | | |
| City | \$ 157,259 | \$ 164,875 | \$ 172,795 | \$ 181,032 | \$ 189,598 | \$ 198,507 |
| County | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| ISD | \$ 25,000 | \$ 25,000 | \$ 25,000 | \$ 25,000 | \$ 25,000 | \$ 25,000 |
| TRANSFERS | \$ 1,262,547 | \$ 1,285,692 | \$ 1,309,763 | \$ 1,334,796 | \$ 1,360,830 | \$ 1,387,906 |
| Management Consulting Services | \$ 196,006 | \$ 298,000 | \$ 298,000 | \$ 298,000 | \$ 298,000 | \$ 298,000 |
| Debt Service to Stadium Infrastructure | | | | | | |
| Principal | \$ 1,310,000 | \$ 1,640,000 | \$ 1,640,000 | \$ 1,640,000 | \$ 1,640,000 | \$ 1,640,000 |
| Interest | \$ 770,168 | \$ 954,202 | \$ 954,202 | \$ 954,202 | \$ 954,202 | \$ 954,202 |
| Stadium Land Purchase - County Payment to COH | \$ 654,784 | \$ 692,623 | \$ 731,976 | \$ 772,903 | \$ 815,468 | \$ 859,735 |
| DEBT SERVICE | \$ 2,734,952 | \$ 3,286,825 | \$ 3,326,178 | \$ 3,367,105 | \$ 3,409,670 | \$ 3,453,937 |
| | | | | | | |
| TOTAL EXPENSES | \$ 2,930,958 | \$ 3,584,825 | \$ 3,624,178 | \$ 3,665,105 | \$ 3,707,670 | \$ 3,751,937 |
| | | | | | | |
| CASH FLOW FROM OPERATIONS | \$ 2,338,021 | \$ 1,826,846 | \$ 2,046,180 | \$ 2,228,905 | \$ 2,452,081 | \$ 2,676,675 |
| | | | | | | |
| BEGINNING FUND BALANCE (7) | \$ 13,111,588 | \$ 14,354,581 | \$ 8,833,899 | \$ 1,547,551 | \$ 3,243,928 | \$ 2,463,481 |
| | | | | | | |
| DEBT ISSUANCE | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| | | | | | | |
| FUNDS AVAILABLE FOR PROJECTS | \$ 15,449,609 | \$ 16,181,427 | \$ 10,880,079 | \$ 3,776,456 | \$ 5,696,009 | \$ 5,140,156 |
| | | | | | | |
| Projects | | | | | | |
| | | | | | | |
| SEARCH | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| EADO Construction | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| HOU Construction | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| Live Oak | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| East Village | \$ 82,528 | \$ 82,528 | \$ 82,528 | \$ 82,528 | \$ 82,528 | \$ 82,528 |
| Pease Street Improvements - EDGE Project | \$ 175,000 | \$ 175,000 | | | | |
| Bike Share Facilities | \$ 33,500 | | | | | |
| Commerce and Canal | \$ - | \$ 50,000 | \$ 50,000 | \$ 50,000 | \$ 50,000 | \$ 50,000 |
| | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| | | | | | | |
| DEVELOPER AGREEMENTS | \$ 291,028 | \$ 307,528 | \$ 132,528 | \$ 132,528 | \$ 132,528 | \$ 132,528 |
| | | | | | | |
| T-1501 East Downtown Roadway and Utility Improvements | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| T-1502 Polk Street Sanitary Sewer Project | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| T-1503 Phase 1 - Roadway and Utility Re-Construction | \$ 150,000 | \$ - | \$ - | \$ - | \$ - | \$ - |
| T-1504 Phase 2 - Roadway and Utility Reconstruction This project | \$ 150,000 | \$ 850,000 | \$ 9,150,000 | \$ - | \$ - | \$ - |
| T-1505 Walker Street Roadway Rehabilitation | \$ 66,000 | \$ 1,650,000 | \$ - | \$ - | \$ - | \$ - |
| T-1509 Bastrop Right of Way Improvements | \$ - | \$ - | \$ - | \$ 100,000 | \$ 1,000,000 | \$ - |
| T-1511 Bastrop Promenade/Greenspace | \$ 63,000 | \$ 700,000 | \$ - | \$ - | \$ - | \$ - |
| T-1514 Texas Avenue Mobility Improvements | \$ 20,000 | \$ 850,000 | \$ - | \$ - | \$ - | \$ - |
| T-1515 Polk Street Reconstruction - This project has been included | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| T-1516 Amenity Overlay - Phase 1 | \$ 285,000 | \$ 1,570,000 | \$ - | \$ - | \$ - | \$ - |
| T-1517 Columbia Tap Improvements | \$ 70,000 | \$ 550,000 | \$ - | \$ - | \$ - | \$ - |
| T-1518 Complete Street and Utility Reconstruction by City Block (| \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| T-1519 Pedestrian Realm Improvements (by Block) | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| T-1520 Traffic Notification Improvements | \$ - | \$ - | \$ - | \$ - | \$ 100,000 | \$ - |
| T-1521 Public Parking Opportunities | \$ - | \$ 500,000 | \$ - | \$ - | \$ - | \$ - |
| T-1523 NHHIP Planning and Implementation | \$ - | \$ 120,000 | \$ - | \$ - | \$ - | \$ - |
| T-1524 McKinney St Rehabilitation | \$ - | \$ - | \$ - | \$ 250,000 | \$ 1,550,000 | \$ - |
| T-1525 Phase 3- Roadway and Utility Reconstruction | \$ - | \$ - | \$ - | \$ - | \$ 400,000 | \$ 2,400,000 |
| T-1526 Polk Street Improvements | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| T-1527 Bicycle Sharing Facilities - Project moved to development | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| T-1528 Zone Wide Safety and Mobility Projects | \$ - | \$ 200,000 | \$ - | \$ - | \$ - | \$ - |
| T-1530 FUTURE CIP PROJECT | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| T-1531 FUTURE CIP PROJECT | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| T-1532 FUTURE CIP PROJECT | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| T-0032 FUTURE CIP PROJECT | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| T-0033 FUTURE CIP PROJECT | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| T-0034 FUTURE CIP PROJECT | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| T-0035 FUTURE CIP PROJECT | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| T-0036 FUTURE CIP PROJECT | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| T-0037 FUTURE CIP PROJECT | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| T-0038 FUTURE CIP PROJECT | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| T-0039 FUTURE CIP PROJECT | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| T-1599 Safe Sidewalk Program | \$ - | \$ 50,000 | \$ 50,000 | \$ 50,000 | \$ 50,000 | \$ 50,000 |
| CAPITAL PROJECTS | \$ 804,000 | \$ 7,040,000 | \$ 9,200,000 | \$ 400,000 | \$ 3,100,000 | \$ 2,450,000 |
| | | | | | | |
| TOTAL PROJECTS | \$ 1,095,028 | \$ 7,347,528 | \$ 9,332,528 | \$ 532,528 | \$ 3,232,528 | \$ 2,582,528 |
| | | | | | | |
| RESTRICTED Funds - Capital Projects | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| RESTRICTED Funds - Affordable Housing | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| RESTRICTED Funds - Debt Service | 2,315,570 | 2,315,570 | 2,315,570 | 2,315,570 | 2,315,570 | 2,315,570 |
| Unrestricted Funds/Net Current Activity | \$ 12,039,011 | \$ 6,518,329 | \$ (768,019) | \$ 928,358 | \$ 147,911 | \$ 242,058 |
| Ending Fund Blance | \$ 14,354,581 | \$ 8,833,899 | \$ 1,547,551 | \$ 3,243,928 | \$ 2,463,481 | \$ 2,557,628 |

| Council District | CIP No. | Project | Fiscal Year Planned Appropriations | | | | | | | | | FY22 - FY26 Total | Cumulative Total (To Date) |
|------------------|---------|--|------------------------------------|----------------|--------------|--------------|------------|--------------|--------------|---------------|---------------|-------------------|----------------------------|
| | | | Through 2020 | Projected 2021 | 2022 | 2023 | 2024 | 2025 | 2026 | | | | |
| I | T-1501 | East Downtown Roadway and Utility Improvements | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | - | - | |
| I | T-1502 | Polk Street Sanitary Sewer Project | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | - | - | |
| I | T-1503 | Phase 1 - Roadway and Utility Re-Construction | \$ - | \$ 150,000 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | - | 150,000 | |
| I | T-1504 | Phase 2 - Roadway and Utility Reconstruction This project includes Polk (former) | \$ - | \$ 150,000 | \$ 850,000 | \$ 9,150,000 | \$ - | \$ - | \$ - | \$ - | 10,000,000 | 10,150,000 | |
| I | T-1505 | Walker Street Roadway Rehabilitation | \$ - | \$ 66,000 | \$ 1,650,000 | \$ - | \$ - | \$ - | \$ - | \$ - | 1,650,000 | 1,716,000 | |
| I | T-1506 | Ammentity Overlay Phase 1A | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | - | - | |
| I | T-1507 | Bastrop ROW - Dog Park | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | - | - | |
| I | T-1508 | Property Acquisition | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | - | - | |
| I | T-1509 | Bastrop Right of Way Improvements | \$ - | \$ - | \$ - | \$ - | \$ 100,000 | \$ 1,000,000 | \$ - | \$ - | 1,100,000 | 1,100,000 | |
| I | T-1510 | Recycled CIP Number | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | - | - | |
| I | T-1511 | Bastrop Promenade/Greenspace | \$ - | \$ 63,000 | \$ 700,000 | \$ - | \$ - | \$ - | \$ - | \$ - | 700,000 | 763,000 | |
| I | T-1512 | Parks and Recreation | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | - | - | |
| I | T-1514 | Texas Avenue Mobility Improvements | \$ - | \$ 20,000 | \$ 850,000 | \$ - | \$ - | \$ - | \$ - | \$ - | 850,000 | 870,000 | |
| I | T-1515 | Polk Street Reconstruction - This project has been included in T-1504 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | - | - | |
| I | T-1516 | Amenity Overlay - Phase 1 | \$ - | \$ 285,000 | \$ 1,570,000 | \$ - | \$ - | \$ - | \$ - | \$ - | 1,570,000 | 1,855,000 | |
| I | T-1517 | Columbia Tap Improvements | \$ - | \$ 70,000 | \$ 550,000 | \$ - | \$ - | \$ - | \$ - | \$ - | 550,000 | 620,000 | |
| I | T-1518 | Complete Street and Utility Reconstruction by City Block (Full Row) | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | - | - | |
| I | T-1519 | Pedestrian Realm Improvements (by Block) | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | - | - | |
| I | T-1520 | Traffic Notification Improvements | \$ - | \$ - | \$ - | \$ - | \$ - | \$ 100,000 | \$ - | \$ - | 100,000 | 100,000 | |
| O | T-1521 | Public Parking Opportunities | \$ - | \$ - | \$ 500,000 | \$ - | \$ - | \$ - | \$ - | \$ - | 500,000 | 500,000 | |
| I | T-1522 | Pease Street Improvements - Project moved to Development Agreement | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | - | - | |
| I | T-1523 | NHHIP Planning and Implementation | \$ - | \$ - | \$ 120,000 | \$ - | \$ - | \$ - | \$ - | \$ - | 120,000 | 120,000 | |
| I | T-1524 | McKinney St Rehabilitation | \$ - | \$ - | \$ - | \$ - | \$ 250,000 | \$ 1,550,000 | \$ - | \$ - | 1,800,000 | 1,800,000 | |
| I | T-1525 | Phase 3- Roadway and Utility Reconstruction | \$ - | \$ - | \$ - | \$ - | \$ - | \$ 400,000 | \$ 2,400,000 | \$ - | 2,800,000 | 2,800,000 | |
| I | T-1526 | Polk Street Improvements | \$ 256,950 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | - | 256,950 | |
| H,I | T-1527 | Bicycle Sharing Facilities - Project moved to development agreement | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | - | - | |
| O | T-1528 | Zone Wide Safety and Mobility Projects | \$ - | - | 200,000 | - | - | - | - | - | 200,000 | 200,000 | |
| O | T-1529 | Zone Wide Safety and Mobility Projects | \$ - | - | - | - | - | - | - | - | - | - | |
| O | T-1530 | FUTURE CIP PROJECT | \$ - | - | - | - | - | - | - | - | - | - | |
| O | T-1531 | FUTURE CIP PROJECT | \$ - | - | - | - | - | - | - | - | - | - | |
| O | T-1532 | FUTURE CIP PROJECT | \$ - | - | - | - | - | - | - | - | - | - | |
| H,I | T-1599 | Safe Sidewalk Program | \$ - | \$ - | \$ 50,000 | \$ 50,000 | \$ 50,000 | \$ 50,000 | \$ 50,000 | \$ - | 250,000 | 250,000 | |
| Totals | | | \$ 256,950 | \$ 804,000 | \$ 7,040,000 | \$ 9,200,000 | \$ 400,000 | \$ 3,100,000 | \$ 2,450,000 | \$ 22,190,000 | \$ 23,250,950 | | |

* NOTE:

** NOTE:

*** NOTE:

2022 - 2026 CAPITAL IMPROVEMENT PLAN
TIRZ NO.15 - EAST DOWNTOWN REDEVELOPMENT AUTHORITY

CITY OF HOUSTON - TIRZ PROGRAM
Economic Development Division

| Source of Funds | Fiscal Year Planned Appropriations | | | | | | | | Cumulative Total (To Date) |
|----------------------|------------------------------------|----------------|------------------|------------------|----------------|------------------|------------------|----------------------|----------------------------------|
| | Through 2020 | Projected 2021 | 2022 | 2023 | 2024 | 2025 | 2026 | FY22 - FY26 Total | |
| | | | | | | | | | |
| TIRZ Funds | 256,950 | 804,000 | 7,040,000 | 9,200,000 | 400,000 | 3,100,000 | 2,450,000 | 22,190,000 | 23,250,950 |
| City of Houston | - | - | - | - | - | - | - | - | - |
| Grants | - | - | - | - | - | - | - | - | - |
| Other | - | - | - | - | - | - | - | - | - |
| Project Total | 256,950 | 804,000 | 7,040,000 | 9,200,000 | 400,000 | 3,100,000 | 2,450,000 | 22,190,000 | 23,250,950 |

| | | | | | | | | | | | |
|--|--|---------------------------------|-------------|---|------|---------------|------|-------|------|-------------------|----------------------------|
| Project: Phase 1 - Roadway and Utility Re-Construction | | | | City Council District | | Key Map: | | WBS.: | | T-1503 | |
| | | | | Location: | | Geo. Ref.: | | | | | |
| | | | | Served: | | Neighborhood: | | | | | |
| Description: | Roadway, public utilities and sidewalks reconstruction/replacement, streetscape/pedestrian amenities using contact sensitive design. Project is located on St. Emanuel Street and Hutchins Street (between McKinney and Polk) and on Polk Street, Dallas Street and Lamar Street (between Chartres and Dowling). | | | Operating and Maintenance Costs: (\$ Thousands) | | | | | | | |
| | | | | | 2022 | 2023 | 2024 | 2025 | 2026 | Total | |
| | | | | Personnel | - | - | - | - | - | \$ - | |
| Justification: | Street segments, public utilities and sidewalks are in poor condition and undersized. Upsized utilities should spur re-development. Improvements will benefit existing area businesses and provide safe pathways for pedestrians. | | | Supplies | - | - | - | - | - | \$ - | |
| | | | | Svcs. & Chgs. | - | - | - | - | - | \$ - | |
| | | | | Capital Outlay | - | - | - | - | - | \$ - | |
| | | | | Total | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | |
| | | | | FTEs | | | | | | - | |
| Fiscal Year Planned Expenses | | | | | | | | | | | |
| Project Allocation | | Projected Expenses thru 6/30/20 | 2021 Budget | 2021 Estimate | 2022 | 2023 | 2024 | 2025 | 2026 | FY22 - FY26 Total | Cumulative Total (To Date) |
| Phase | | | | | | | | | | | |
| 1 | Planning | - | - | - | - | - | - | - | - | \$ - | \$ - |
| 2 | Acquisition | - | - | - | - | - | - | - | - | \$ - | \$ - |
| 3 | Design | - | - | - | - | - | - | - | - | \$ - | \$ - |
| 4 | Construction | - | 150,000 | 150,000 | - | - | - | - | - | \$ - | \$ 150,000 |
| 5 | Equipment | - | - | - | - | - | - | - | - | \$ - | \$ - |
| 6 | Close-Out | - | - | - | - | - | - | - | - | \$ - | \$ - |
| 7 | Other | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| Other Sub-Total: | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | | | | | | | | | | |
| Total Allocations | | \$ - | \$ 150,000 | \$ 150,000 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ 150,000 |
| | | | | | | | | | | | |
| Source of Funds | | | | | | | | | | | |
| TIRZ Funds | | - | 150,000 | 150,000 | - | - | - | - | - | \$ - | \$ 150,000 |
| City of Houston | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| Grants | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| Other | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| Total Funds | | \$ - | \$ 150,000 | \$ 150,000 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ 150,000 |

| | | | | | | | | | | | | | | |
|--|---|---------------------------------|-------------|---|------------|--------------|------|---------------|------|-------------------|----------------------------|--|--|--|
| Project: Phase 2 - Roadway and Utility Reconstruction This project includes Polk (formerly T-1515) | | | | City Council District | | Key Map: | | | | WBS.: | T-1504 | | | |
| | | | | Location: | | I | | Geo. Ref.: | | | | | | |
| | | | | Served: | | I | | Neighborhood: | | | | | | |
| Description: | Roadway, public utilities and sidewalks reconstruction/replacement, streetscape/pedestrian amenities using context sensitive design. Project is located on Hutchins between Polk and Leeland, Clay between St Emanuel and Hutchins and Bell between St Emanuel and Bastrop. | | | Operating and Maintenance Costs: (\$ Thousands) | | | | | | | | | | |
| | | | | | 2022 | 2023 | 2024 | 2025 | 2026 | Total | | | | |
| | | | | Personnel | - | - | - | - | - | \$ - | | | | |
| | | | | Supplies | - | - | - | - | - | \$ - | | | | |
| Justification: | Street segments, public utilities and sidewalks are in poor condition and undersized. Upsized utilities should spur re-development. Improvements will benefit existing area businesses and provide safe pathways for pedestrians. | | | Svcs. & Chgs. | - | - | - | - | - | - | \$ - | | | |
| | | | | Capital Outlay | - | - | - | - | - | - | \$ - | | | |
| | | | | Total | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | | | |
| | | | | FTEs | | | | | | | - | | | |
| | | | | Fiscal Year Planned Expenses | | | | | | | | | | |
| Project Allocation | | Projected Expenses thru 6/30/20 | 2021 Budget | 2021 Estimate | 2022 | 2023 | 2024 | 2025 | 2026 | FY22 - FY26 Total | Cumulative Total (To Date) | | | |
| Phase | | | | | | | | | | | | | | |
| 1 | Planning | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| 2 | Acquisition | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| 3 | Design | - | 850,000 | 150,000 | 850,000 | - | - | - | - | \$ 850,000 | \$ 1,000,000 | | | |
| 4 | Construction | - | - | - | - | 9,150,000 | - | - | - | \$ 9,150,000 | \$ 9,150,000 | | | |
| 5 | Equipment | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| 6 | Close-Out | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| 7 | Other | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| Other Sub-Total: | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| Total Allocations | | | | | | | | | | | | | | |
| | | \$ - | \$ 850,000 | \$ 150,000 | \$ 850,000 | \$ 9,150,000 | \$ - | \$ - | \$ - | \$ 10,000,000 | \$ 10,150,000 | | | |
| Source of Funds | | | | | | | | | | | | | | |
| | | | | | | | | | | | | | | |
| TIRZ Funds | | - | 850,000 | 150,000 | 850,000 | 9,150,000 | - | - | - | \$ 10,000,000 | \$ 10,150,000 | | | |
| City of Houston | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| Grants | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| Other | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| Total Funds | | \$ - | \$ 850,000 | \$ 150,000 | \$ 850,000 | \$ 9,150,000 | \$ - | \$ - | \$ - | \$ 10,000,000 | \$ 10,150,000 | | | |

| | | | | | | | | | | | | | |
|---|--|------|------------|---|--------------|---------------------------------|-------------|---------------|------|--------------|--------------|------|------|
| Project: Walker Street Roadway Rehabilitation | | | | City Council District | | Key Map: | | WBS.: | | T-1505 | | | |
| | | | | Location: I | | Geo. Ref.: | | | | | | | |
| | | | | Served: I | | Neighborhood: | | | | | | | |
| Description: | Rehabilitation of Walker Street between Emancipation and St Emanuel | | | Operating and Maintenance Costs: (\$ Thousands) | | | | | | | | | |
| | | | | | 2022 | 2023 | 2024 | 2025 | 2026 | Total | | | |
| | | | | Personnel | - | - | - | - | - | \$ - | | | |
| | | | | Supplies | - | - | - | - | - | \$ - | | | |
| Justification: | Street segments and sidewalks are in poor condition. Improvements including mill and overlay and streetscape will spur redevelopment, benefit existing area businesses and provide safe pathways for pedestrians. Right of way may be reallocated to provide for all modes of transportation and to provide connection to the Columbia Tap and the planned CAP park. | | | Svcs. & Chgs. | - | - | - | - | - | \$ - | | | |
| | | | | Capital Outlay | - | - | - | - | - | \$ - | | | |
| | | | | Total | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | | | |
| | | | | FTEs | | | | | | - | | | |
| | | | | Fiscal Year Planned Expenses | | | | | | | | | |
| | | | | Project Allocation | | Projected Expenses thru 6/30/20 | 2021 Budget | 2021 Estimate | 2022 | 2023 | 2024 | 2025 | 2026 |
| Phase | | | | | | | | | | | | | |
| 1 | Planning | - | - | - | - | - | - | - | - | \$ - | \$ - | | |
| 2 | Acquisition | - | - | - | - | - | - | - | - | \$ - | \$ - | | |
| 3 | Design | - | 250,000 | 66,000 | 100,000 | | | - | | \$ 100,000 | \$ 166,000 | | |
| 4 | Construction | - | - | - | 1,550,000 | | | - | - | \$ 1,550,000 | \$ 1,550,000 | | |
| 5 | Equipment | - | - | - | - | - | - | - | - | \$ - | \$ - | | |
| 6 | Close-Out | - | - | - | - | - | - | - | - | \$ - | \$ - | | |
| 7 | Other | - | - | - | - | - | - | - | - | \$ - | \$ - | | |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - | | |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - | | |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - | | |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - | | |
| Other Sub-Total: | | - | - | - | - | - | - | - | - | \$ - | \$ - | | |
| | | | | | | | | | | | | | |
| Total Allocations | | \$ - | \$ 250,000 | \$ 66,000 | \$ 1,650,000 | \$ - | \$ - | \$ - | \$ - | \$ 1,650,000 | \$ 1,716,000 | | |
| | | | | | | | | | | | | | |
| Source of Funds | | | | | | | | | | | | | |
| TIRZ Funds | | - | 250,000 | 66,000 | 1,650,000 | - | - | - | - | \$ 1,650,000 | \$ 1,716,000 | | |
| City of Houston | | - | - | - | - | - | - | - | - | \$ - | \$ - | | |
| Grants | | - | - | - | - | - | - | - | - | \$ - | \$ - | | |
| Other | | - | - | - | - | - | - | - | - | \$ - | \$ - | | |
| Total Funds | | \$ - | \$ 250,000 | \$ 66,000 | \$ 1,650,000 | \$ - | \$ - | \$ - | \$ - | \$ 1,650,000 | \$ 1,716,000 | | |

*NOTE:

| | | | | | | | | | | | | | | |
|--|---|---------------------------------|-------------|---|------|----------|------------|---------------|------|-------------------|----------------------------|--|--|--|
| Project: Bastrop Right of Way Improvements | | | | City Council District | | Key Map: | | | | WBS.: | T-1509 | | | |
| | | | | Location: | | I | | Geo. Ref.: | | | | | | |
| | | | | Served: | | I | | Neighborhood: | | | | | | |
| Description: | Analysis and improvement of Bastrop Right of Way from Bell to Leeland. Project may include improvements to Bastrop, potential reallocation of right of way or potential extension of the trail on the Bastrop Promenade/Greenspace | | | Operating and Maintenance Costs: (\$ Thousands) | | | | | | | | | | |
| | | | | | 2022 | 2023 | 2024 | 2025 | 2026 | Total | | | | |
| | | | | Personnel | - | - | - | - | - | \$ - | | | | |
| | | | | Supplies | - | - | - | - | - | \$ - | | | | |
| Justification: | Street segments are in poor condition and are adjacent to the Bastrop Promenade Improvements. Extension of the trail or improvements to the right of way will spur redevelopment, benefit existing area businesses and provide safe pathways for pedestrians. | | | Svcs. & Chgs. | - | - | - | - | - | - | \$ - | | | |
| | | | | Capital Outlay | - | - | - | - | - | - | \$ - | | | |
| | | | | Total | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | | | | |
| | | | | FTEs | | | | | | | | | | |
| | | | | Fiscal Year Planned Expenses | | | | | | | | | | |
| Project Allocation | | Projected Expenses thru 6/30/20 | 2021 Budget | 2021 Estimate | 2022 | 2023 | 2024 | 2025 | 2026 | FY22 - FY26 Total | Cumulative Total (To Date) | | | |
| Phase | | | | | | | | | | | | | | |
| 1 | Planning | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| 2 | Acquisition | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| 3 | Design | - | 100,000 | | | | 100,000 | | | \$ 100,000 | \$ 100,000 | | | |
| 4 | Construction | - | - | | | | | 1,000,000 | | \$ 1,000,000 | \$ 1,000,000 | | | |
| 5 | Equipment | - | - | - | - | - | - | | | \$ - | \$ - | | | |
| 6 | Close-Out | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| 7 | Other | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| Other Sub-Total: | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| | | | | | | | | | | | | | | |
| Total Allocations | | \$ - | \$ 100,000 | \$ - | \$ - | \$ - | \$ 100,000 | \$ 1,000,000 | \$ - | \$ 1,100,000 | \$ 1,100,000 | | | |
| | | | | | | | | | | | | | | |
| Source of Funds | | | | | | | | | | | | | | |
| TIRZ Funds | | - | 100,000 | - | - | - | 100,000 | 1,000,000 | - | \$ 1,100,000 | \$ 1,100,000 | | | |
| City of Houston | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| Grants | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| Other | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| Total Funds | | \$ - | \$ 100,000 | \$ - | \$ - | \$ - | \$ 100,000 | \$ 1,000,000 | \$ - | \$ 1,100,000 | \$ 1,100,000 | | | |

| | | | | | | | | | | | |
|---------------------------------------|---|---------------------------------|-------------|---|------------|---------------|------|-------|------|-------------------|----------------------------|
| Project: Bastrop Promenade/Greenspace | | | | City Council District | | Key Map: | | WBS.: | | T-1511 | |
| | | | | Location: I | | Geo. Ref.: | | | | | |
| | | | | Served: I | | Neighborhood: | | | | | |
| Description: | Recreational and Pedestrian improvements to undeveloped portions Bastrop Street right-of-way between Polk Street and Bell Street. | | | Operating and Maintenance Costs: (\$ Thousands) | | | | | | | |
| | | | | | 2022 | 2023 | 2024 | 2025 | 2026 | Total | |
| | | | | Personnel | - | - | - | - | - | \$ - | |
| | | | | Supplies | - | - | - | - | - | \$ - | |
| Justification: | East Downtown hosts the Houston Dynamo Stadium, which is located at the northern end of the Bastrop Promenade/Greenspace. Betterment of the linear park will provide for proximate and multi-functional festival space. These improvements could include a childrens playground and improvements to the dog park and continuation of pedestrian lighting southwest of polk This improvement could also include public art in various location along the Promenade/Greenspace. | | | Svcs. & Chgs. | | - | - | - | - | - | \$ - |
| | | | | Capital Outlay | | - | - | - | - | - | \$ - |
| | | | | Total | | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| | | | | FTEs | | | | | | | - |
| | | | | Fiscal Year Planned Expenses | | | | | | | |
| Project Allocation | | Projected Expenses thru 6/30/20 | 2021 Budget | 2021 Estimate | 2022 | 2023 | 2024 | 2025 | 2026 | FY22 - FY26 Total | Cumulative Total (To Date) |
| Phase | | | | | | | | | | | |
| 1 | Planning | - | - | - | - | - | - | - | - | \$ - | \$ - |
| 2 | Acquisition | - | - | - | - | - | - | - | - | \$ - | \$ - |
| 3 | Design | - | 100,000 | 63,000 | 50,000 | - | | | - | \$ 50,000 | \$ 113,000 |
| 4 | Construction | - | | - | 650,000 | | | | - | \$ 650,000 | \$ 650,000 |
| 5 | Equipment | - | - | - | - | - | - | - | - | \$ - | \$ - |
| 6 | Close-Out | - | - | - | - | - | - | - | - | \$ - | \$ - |
| 7 | Other | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| Other Sub-Total: | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | | | | | | | | | | |
| Total Allocations | | \$ - | \$ 100,000 | \$ 63,000 | \$ 700,000 | \$ - | \$ - | \$ - | \$ - | \$ 700,000 | \$ 763,000 |
| | | | | | | | | | | | |
| Source of Funds | | | | | | | | | | | |
| TIRZ Funds | | - | 100,000 | 63,000 | 700,000 | - | - | - | - | \$ 700,000 | \$ 763,000 |
| City of Houston | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| Grants | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| Other | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| Total Funds | | \$ - | \$ 100,000 | \$ 63,000 | \$ 700,000 | \$ - | \$ - | \$ - | \$ - | \$ 700,000 | \$ 763,000 |

| | | | | | | | | | | | |
|---|---|---------------------------------|--------------|---|------------|---------------|------|-------|------|-------------------|----------------------------|
| Project: Texas Avenue Mobility Improvements | | | | City Council District | | Key Map: | | WBS.: | | T-1514 | |
| | | | | Location: | | Geo. Ref.: | | | | | |
| | | | | Served: | | Neighborhood: | | | | | |
| Description: | Modifications to Signals along Texas Avenue at St. Emanuel and Emancipation, including improving pedestrian crossings to the Dynamo Stadium. | | | Operating and Maintenance Costs: (\$ Thousands) | | | | | | | |
| | | | | | 2022 | 2023 | 2024 | 2025 | 2026 | Total | |
| | | | | Personnel | - | - | - | - | - | \$ - | |
| | | | | Supplies | - | - | - | - | - | \$ - | |
| Justification: | Delays at the traffic signals impact overall mobility and commerce in the area. Additional pedestrian safety improvements needed for access across Texas Avenue to Dynamo Stadium | | | Svcs. & Chgs. | - | - | - | - | - | \$ - | |
| | | | | Capital Outlay | - | - | - | - | - | \$ - | |
| | | | | Total | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | |
| | | | | FTEs | | | | | | - | |
| | | | | Fiscal Year Planned Expenses | | | | | | | |
| Project Allocation | | Projected Expenses thru 6/30/20 | 2021 Budget | 2021 Estimate | 2022 | 2023 | 2024 | 2025 | 2026 | FY22 - FY26 Total | Cumulative Total (To Date) |
| Phase | | | | | | | | | | | |
| 1 | Planning | - | 100,000 | 20,000 | | - | - | - | - | \$ - | \$ 20,000 |
| 2 | Acquisition | - | - | - | - | - | - | - | - | \$ - | \$ - |
| 3 | Design | - | 150,000 | - | 100,000 | - | - | - | - | \$ 100,000 | \$ 100,000 |
| 4 | Construction | - | 850,000 | - | 750,000 | - | - | - | - | \$ 750,000 | \$ 750,000 |
| 5 | Equipment | - | - | - | - | - | - | - | - | \$ - | \$ - |
| 6 | Close-Out | - | - | - | - | - | - | - | - | \$ - | \$ - |
| 7 | Other | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| Other Sub-Total: | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | | | | | | | | | | |
| Total Allocations | | \$ - | \$ 1,100,000 | \$ 20,000 | \$ 850,000 | \$ - | \$ - | \$ - | \$ - | \$ 850,000 | \$ 870,000 |
| | | | | | | | | | | | |
| Source of Funds | | | | | | | | | | | |
| TIRZ Funds | | - | 1,100,000 | 20,000 | 850,000 | - | - | - | - | \$ 850,000 | \$ 870,000 |
| City of Houston | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| Grants | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| Other | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| Total Funds | | \$ - | \$ 1,100,000 | \$ 20,000 | \$ 850,000 | \$ - | \$ - | \$ - | \$ - | \$ 850,000 | \$ 870,000 |

| | | | | | | | | | | | | | | |
|---|--|---------------------------------|-------------|---|------|----------|------|---------------|------|-------------------|----------------------------|--|--|--|
| Project: Polk Street Reconstruction - This project has been | | | | City Council District | | Key Map: | | | | WBS.: | T-1515 | | | |
| | | | | Location: | | I | | Geo. Ref.: | | | | | | |
| | | | | Served: | | I | | Neighborhood: | | | | | | |
| Description: | Roadway, public utilities and sidewalks reconstruction/replacement, streetscape/pedestrian amenities. Project is located on Polk Street (Chartres to Emancipation) | | | Operating and Maintenance Costs: (\$ Thousands) | | | | | | | | | | |
| | | | | | 2022 | 2023 | 2024 | 2025 | 2026 | Total | | | | |
| | | | | Personnel | - | - | - | - | - | \$ - | | | | |
| | | | | Supplies | - | - | - | - | - | \$ - | | | | |
| Justification: | Street segments, public utilities and sidewalks are in poor condition and undersized. Upsized utilities should spur re-development. Improvements will also benefit existing area businesses and provide safe pathways for pedestrians. | | | Svcs. & Chgs. | - | - | - | - | - | - | \$ - | | | |
| | | | | Capital Outlay | - | - | - | - | - | - | \$ - | | | |
| | | | | Total | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | | | |
| | | | | FTEs | | | | | | | - | | | |
| | | | | Fiscal Year Planned Expenses | | | | | | | | | | |
| Project Allocation | | Projected Expenses thru 6/30/20 | 2021 Budget | 2021 Estimate | 2022 | 2023 | 2024 | 2025 | 2026 | FY22 - FY26 Total | Cumulative Total (To Date) | | | |
| Phase | | | | | | | | | | | | | | |
| 1 | Planning | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| 2 | Acquisition | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| 3 | Design | - | 500,000 | | | | | - | - | \$ - | \$ - | | | |
| 4 | Construction | - | | | | | | - | - | \$ - | \$ - | | | |
| 5 | Equipment | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| 6 | Close-Out | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| 7 | Other | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| Other Sub-Total: | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| | | | | | | | | | | | | | | |
| Total Allocations | | \$ - | \$ 500,000 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | | | |
| | | | | | | | | | | | | | | |
| Source of Funds | | | | | | | | | | | | | | |
| TIRZ Funds | | - | 500,000 | - | - | - | - | - | - | \$ - | \$ - | | | |
| City of Houston | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| Grants | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| Other | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| Total Funds | | \$ - | \$ 500,000 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | | | |

| | | | | | | | | | | | | | | |
|---|---|---------------------------------|--------------|---|--------------|----------|------|---------------|------|-------------------|----------------------------|--|--|--|
| Project: Amenity Overlay - Phase 1 | | | | City Council District | | Key Map: | | | | WBS.: | T-1516 | | | |
| | | | | Location: | | I | | Geo. Ref.: | | | | | | |
| | | | | Served: | | I | | Neighborhood: | | | | | | |
| Description: | Includes addition of trees, pedestrian lighting, bicycle racks, benches, and other items | | | Operating and Maintenance Costs: (\$ Thousands) | | | | | | | | | | |
| | | | | | 2022 | 2023 | 2024 | 2025 | 2026 | Total | | | | |
| | | | | Personnel | - | - | - | - | - | \$ - | | | | |
| Justification: | Phase 1 Construction was completed in FY2019. No street trees, pedestrian lighting or other items were constructed during initial phases. This construction should promote a safe walkable environment. | | | Supplies | - | - | - | - | - | - | \$ - | | | |
| | | | | Svcs. & Chgs. | - | - | - | - | - | - | \$ - | | | |
| | | | | Capital Outlay | - | - | - | - | - | - | \$ - | | | |
| | | | | Total | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | | | |
| | | | | FTEs | | | | | | | - | | | |
| | | | | Fiscal Year Planned Expenses | | | | | | | | | | |
| Project Allocation | | Projected Expenses thru 6/30/20 | 2021 Budget | 2021 Estimate | 2022 | 2023 | 2024 | 2025 | 2026 | FY22 - FY26 Total | Cumulative Total (To Date) | | | |
| Phase | | | | | | | | | | | | | | |
| 1 | Planning | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| 2 | Acquisition | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| 3 | Design | - | | 35,000 | | - | - | - | - | \$ - | \$ 35,000 | | | |
| 4 | Construction | - | 1,400,000 | 250,000 | 1,570,000 | - | - | - | - | \$ 1,570,000 | \$ 1,820,000 | | | |
| 5 | Equipment | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| 6 | Close-Out | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| 7 | Other | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| Other Sub-Total: | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| | | | | | | | | | | | | | | |
| Total Allocations | | \$ - | \$ 1,400,000 | \$ 285,000 | \$ 1,570,000 | \$ - | \$ - | \$ - | \$ - | \$ 1,570,000 | \$ 1,855,000 | | | |
| | | | | | | | | | | | | | | |
| Source of Funds | | | | | | | | | | | | | | |
| TIRZ Funds | | - | 1,400,000 | 285,000 | 1,570,000 | - | - | - | - | \$ 1,570,000 | \$ 1,855,000 | | | |
| City of Houston | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| Grants | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| Other | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| Total Funds | | \$ - | \$ 1,400,000 | \$ 285,000 | \$ 1,570,000 | \$ - | \$ - | \$ - | \$ - | \$ 1,570,000 | \$ 1,855,000 | | | |

| | | | | | | | | | | | | | | |
|------------------------------------|---|---------------------------------|-------------|---|------------|----------|------|---------------|------|-------------------|----------------------------|--|--|--|
| Project: Columbia Tap Improvements | | | | City Council District | | Key Map: | | | | WBS.: | T-1517 | | | |
| | | | | Location: | | I | | Geo. Ref.: | | | | | | |
| | | | | Served: | | I | | Neighborhood: | | | | | | |
| Description: | Project to Improve the Columbia Tap within the Zone. | | | Operating and Maintenance Costs: (\$ Thousands) | | | | | | | | | | |
| | | | | | 2022 | 2023 | 2024 | 2025 | 2026 | Total | | | | |
| | | | | Personnel | - | - | - | - | - | \$ - | | | | |
| | | | | Supplies | - | - | - | - | - | \$ - | | | | |
| Justification: | Additional trees, Lighting, ADA related improvements to ramps, crosswalks, work out and bicycle repair stations to improve user experience. Trail improvements should spur redevelopment and benefit existing businesses. | | | Svcs. & Chgs. | - | - | - | - | - | - | \$ - | | | |
| | | | | Capital Outlay | - | - | - | - | - | - | \$ - | | | |
| | | | | Total | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | | | |
| | | | | FTEs | | | | | | | - | | | |
| | | | | Fiscal Year Planned Expenses | | | | | | | | | | |
| Project Allocation | | Projected Expenses thru 6/30/20 | 2021 Budget | 2021 Estimate | 2022 | 2023 | 2024 | 2025 | 2026 | FY22 - FY26 Total | Cumulative Total (To Date) | | | |
| Phase | | | | | | | | | | | | | | |
| 1 | Planning | - | | - | - | - | - | - | - | \$ - | \$ - | | | |
| 2 | Acquisition | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| 3 | Design | - | 50,000 | 70,000 | - | - | - | - | - | \$ - | \$ 70,000 | | | |
| 4 | Construction | - | 450,000 | - | 550,000 | - | - | - | - | \$ 550,000 | \$ 550,000 | | | |
| 5 | Equipment | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| 6 | Close-Out | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| 7 | Other | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| Other Sub-Total: | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| | | | | | | | | | | | | | | |
| Total Allocations | | \$ - | \$ 500,000 | \$ 70,000 | \$ 550,000 | \$ - | \$ - | \$ - | \$ - | \$ 550,000 | \$ 620,000 | | | |
| | | | | | | | | | | | | | | |
| Source of Funds | | | | | | | | | | | | | | |
| TIRZ Funds | | - | 500,000 | 70,000 | 550,000 | - | - | - | - | \$ 550,000 | \$ 620,000 | | | |
| City of Houston | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| Grants | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| Other | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| Total Funds | | \$ - | \$ 500,000 | \$ 70,000 | \$ 550,000 | \$ - | \$ - | \$ - | \$ - | \$ 550,000 | \$ 620,000 | | | |

*NOTE:

| | | | | | | | | | | | |
|--|--|---------------------------------|-------------|---|------|---------------|------------|------------|------------|-------------------|----------------------------|
| Project: Traffic Notification Improvements | | | | City Council District | | Key Map: | | WBS.: | | T-1520 | |
| | | | | Location: I | | Geo. Ref.: | | | | | |
| | | | | Served: I | | Neighborhood: | | | | | |
| Description: | Construct New signage for street locations, area identification, pedestrian safety | | | Operating and Maintenance Costs: (\$ Thousands) | | | | | | | |
| | | | | | 2022 | 2023 | 2024 | 2025 | 2026 | Total | |
| | | | | Personnel | - | - | - | - | - | \$ - | |
| Justification: | Minimal signage is available for notification for access to the area that will be impacted during reconstruction of NHHIP I-69 Project. Additional striping and signage needed for pedestrian crossing and safety. | | | Supplies | - | - | - | - | - | \$ - | |
| | | | | Svcs. & Chgs. | - | - | - | - | - | \$ - | |
| | | | | Capital Outlay | - | - | - | - | - | \$ - | |
| | | | | Total | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | |
| | | | | FTEs | | | | | | - | |
| | | | | Fiscal Year Planned Expenses | | | | | | | |
| Project Allocation | | Projected Expenses thru 6/30/20 | 2021 Budget | 2021 Estimate | 2022 | 2023 | 2024 | 2025 | 2026 | FY22 - FY26 Total | Cumulative Total (To Date) |
| Phase | | | | | | | | | | | |
| 1 | Planning | - | | - | | | - | - | \$ - | \$ - | |
| 2 | Acquisition | - | | - | | | - | - | \$ - | \$ - | |
| 3 | Design | - | | - | | | - | - | \$ - | \$ - | |
| 4 | Construction | - | 100,000 | - | | | 100,000 | - | \$ 100,000 | \$ 100,000 | |
| 5 | Equipment | - | - | - | - | - | - | - | \$ - | \$ - | |
| 6 | Close-Out | - | - | - | - | - | - | - | \$ - | \$ - | |
| 7 | Other | - | | - | - | - | - | - | \$ - | \$ - | |
| | | - | - | - | - | - | - | - | \$ - | \$ - | |
| | | - | - | - | - | - | - | - | \$ - | \$ - | |
| | | - | - | - | - | - | - | - | \$ - | \$ - | |
| | | - | - | - | - | - | - | - | \$ - | \$ - | |
| Other Sub-Total: | | - | - | - | - | - | - | - | \$ - | \$ - | |
| | | | | | | | | | | | |
| Total Allocations | | \$ - | \$ 100,000 | \$ - | \$ - | \$ - | \$ - | \$ 100,000 | \$ - | \$ 100,000 | \$ 100,000 |
| | | | | | | | | | | | |
| Source of Funds | | | | | | | | | | | |
| TIRZ Funds | | - | 100,000 | - | - | - | 100,000 | - | \$ 100,000 | \$ 100,000 | |
| City of Houston | | - | - | - | - | - | - | - | \$ - | \$ - | |
| Grants | | - | - | - | - | - | - | - | \$ - | \$ - | |
| Other | | - | - | - | - | - | - | - | \$ - | \$ - | |
| Total Funds | | \$ - | \$ 100,000 | \$ - | \$ - | \$ - | \$ 100,000 | \$ - | \$ 100,000 | \$ 100,000 | |

| | | | | | | | | | | | |
|---------------------------------------|--|---------------------------------|-------------|---|------------|---------------|------|-------|------|-------------------|----------------------------|
| Project: Public Parking Opportunities | | | | City Council District | | Key Map: | | WBS.: | | T-1521 | |
| | | | | Location: | | Geo. Ref.: | | | | | |
| | | | | Served: | | Neighborhood: | | | | | |
| Description: | Provide Public Parking Opportunities when available throughout the zone | | | Operating and Maintenance Costs: (\$ Thousands) | | | | | | | |
| | | | | | 2022 | 2023 | 2024 | 2025 | 2026 | Total | |
| | | | | Personnel | - | - | - | - | - | \$ - | |
| | | | | Supplies | - | - | - | - | - | \$ - | |
| Justification: | There is a lack of Public Parking in the District and more parking will be lost with the construction of the NHHIP project. These funds will be utilized when small opportunities are identified to add paid public parking. | | | Svcs. & Chgs. | - | - | - | - | - | \$ - | |
| | | | | Capital Outlay | - | - | - | - | - | \$ - | |
| | | | | Total | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | |
| | | | | FTEs | | | | | | - | |
| | | | | Fiscal Year Planned Expenses | | | | | | | |
| Project Allocation | | Projected Expenses thru 6/30/20 | 2021 Budget | 2021 Estimate | 2022 | 2023 | 2024 | 2025 | 2026 | FY22 - FY26 Total | Cumulative Total (To Date) |
| Phase | | | | | | | | | | | |
| 1 | Planning | - | - | - | - | - | - | - | - | \$ - | \$ - |
| 2 | Acquisition | - | - | - | - | - | - | - | - | \$ - | \$ - |
| 3 | Design | - | 50,000 | - | 50,000 | - | - | - | - | \$ 50,000 | \$ 50,000 |
| 4 | Construction | - | 45,000 | - | 450,000 | - | - | - | - | \$ 450,000 | \$ 450,000 |
| 5 | Equipment | - | - | - | - | - | - | - | - | \$ - | \$ - |
| 6 | Close-Out | - | - | - | - | - | - | - | - | \$ - | \$ - |
| 7 | Other | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| Other Sub-Total: | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | | | | | | | | | | |
| Total Allocations | | \$ - | \$ 95,000 | \$ - | \$ 500,000 | \$ - | \$ - | \$ - | \$ - | \$ 500,000 | \$ 500,000 |
| | | | | | | | | | | | |
| Source of Funds | | | | | | | | | | | |
| TIRZ Funds | | - | 95,000 | - | 500,000 | - | - | - | - | \$ 500,000 | \$ 500,000 |
| City of Houston | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| Grants | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| Other | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| Total Funds | | \$ - | \$ 95,000 | \$ - | \$ 500,000 | \$ - | \$ - | \$ - | \$ - | \$ 500,000 | \$ 500,000 |

*NOTE:

| | | | | | | | | | | | |
|--|---|---------------------------------|-------------|---|------------|-----------------|------|-------|------|-------------------|----------------------------|
| Project: NHHIP Planning and Implementation | | | | City Council District | | Key Map: | | WBS.: | | T-1523 | |
| | | | | Location: I | | Geo. Ref.: | | | | | |
| | | | | Served: | | Neighborhood: I | | | | | |
| Description: | Planning work related to the TXDOT redesign and reconstruction of I-45/I-69 through downtown. | | | Operating and Maintenance Costs: (\$ Thousands) | | | | | | | |
| | | | | | 2022 | 2023 | 2024 | 2025 | 2026 | Total | |
| | | | | Personnel | - | - | - | - | - | \$ - | |
| Justification: | This redesign and reconstruction will change access to the Zone, create a potential cap park and reduce the public parking in the Zone. This project provides funds to work with TXDOT and other partners to maximize the benefits and minimize the negatives of the project. | | | Supplies | - | - | - | - | - | \$ - | |
| | | | | Svcs. & Chgs. | - | - | - | - | - | \$ - | |
| | | | | Capital Outlay | - | - | - | - | - | \$ - | |
| | | | | Total | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | |
| | | | | FTEs | | | | | | - | |
| Fiscal Year Planned Expenses | | | | | | | | | | | |
| Project Allocation | | Projected Expenses thru 6/30/20 | 2021 Budget | 2021 Estimate | 2022 | 2023 | 2024 | 2025 | 2026 | FY22 - FY26 Total | Cumulative Total (To Date) |
| Phase | | | | | | | | | | | |
| 1 | Planning | - | 120,000 | - | 120,000 | - | - | - | - | \$ 120,000 | \$ 120,000 |
| 2 | Acquisition | - | - | - | - | - | - | - | - | \$ - | \$ - |
| 3 | Design | - | - | - | - | - | - | - | - | \$ - | \$ - |
| 4 | Construction | - | - | - | - | - | - | - | - | \$ - | \$ - |
| 5 | Equipment | - | - | - | - | - | - | - | - | \$ - | \$ - |
| 6 | Close-Out | - | - | - | - | - | - | - | - | \$ - | \$ - |
| 7 | Other | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| Other Sub-Total: | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| Total Allocations | | | | | | | | | | | |
| | | \$ - | \$ 120,000 | \$ - | \$ 120,000 | \$ - | \$ - | \$ - | \$ - | \$ 120,000 | \$ 120,000 |
| Source of Funds | | | | | | | | | | | |
| | | | | | | | | | | | |
| TIRZ Funds | | - | 120,000 | - | 120,000 | - | - | - | - | \$ 120,000 | \$ 120,000 |
| City of Houston | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| Grants | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| Other | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| Total Funds | | \$ - | \$ 120,000 | \$ - | \$ 120,000 | \$ - | \$ - | \$ - | \$ - | \$ 120,000 | \$ 120,000 |

| | | | | | | | | | | | | |
|-------------------------------------|---|---------------------------------|-------------|---|------|-----------------|------------|--------------|------|-------------------|----------------------------|--|
| Project: McKinney St Rehabilitation | | | | City Council District | | Key Map: | | | | WBS.: | T-1524 | |
| | | | | Location: I | | Geo. Ref.: | | | | | | |
| | | | | Served: | | Neighborhood: I | | | | | | |
| Description: | Rehabilitation of McKinney Right of Way from Emancipation to St Emanuel | | | Operating and Maintenance Costs: (\$ Thousands) | | | | | | | | |
| | | | | | 2022 | 2023 | 2024 | 2025 | 2026 | Total | | |
| | | | | Personnel | - | - | - | - | - | \$ - | | |
| Justification: | Street segments and sidewalks are in poor condition. Improvements including mill and overlay and streetscape will spur redevelopment, benefit existing area businesses and provide safe pathways for pedestrians. | | | Supplies | - | - | - | - | - | - | \$ - | |
| | | | | Svcs. & Chgs. | - | - | - | - | - | - | \$ - | |
| | | | | Capital Outlay | - | - | - | - | - | - | \$ - | |
| | | | | Total | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | |
| | | | | FTEs | | | | | | | - | |
| Fiscal Year Planned Expenses | | | | | | | | | | | | |
| Project Allocation | | Projected Expenses thru 6/30/20 | 2021 Budget | 2021 Estimate | 2022 | 2023 | 2024 | 2025 | 2026 | FY22 - FY26 Total | Cumulative Total (To Date) | |
| Phase | | | | | | | | | | | | |
| 1 | Planning | - | - | - | - | - | - | - | - | \$ - | \$ - | |
| 2 | Acquisition | - | - | - | - | - | - | - | - | \$ - | \$ - | |
| 3 | Design | - | - | - | | 250,000 | - | - | | \$ 250,000 | \$ 250,000 | |
| 4 | Construction | - | - | | | | 1,550,000 | - | | \$ 1,550,000 | \$ 1,550,000 | |
| 5 | Equipment | - | - | - | - | - | - | - | - | \$ - | \$ - | |
| 6 | Close-Out | - | - | - | - | - | - | - | - | \$ - | \$ - | |
| 7 | Other | - | - | - | - | - | - | - | - | \$ - | \$ - | |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - | |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - | |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - | |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - | |
| Other Sub-Total: | | - | - | - | - | - | - | - | - | \$ - | \$ - | |
| | | | | | | | | | | | | |
| Total Allocations | | \$ - | \$ - | \$ - | \$ - | \$ - | \$ 250,000 | \$ 1,550,000 | \$ - | \$ 1,800,000 | \$ 1,800,000 | |
| | | | | | | | | | | | | |
| Source of Funds | | | | | | | | | | | | |
| TIRZ Funds | | - | - | - | - | - | 250,000 | 1,550,000 | - | \$ 1,800,000 | \$ 1,800,000 | |
| City of Houston | | - | - | - | - | - | - | - | - | \$ - | \$ - | |
| Grants | | - | - | - | - | - | - | - | - | \$ - | \$ - | |
| Other | | - | - | - | - | - | - | - | - | \$ - | \$ - | |
| Total Funds | | \$ - | \$ - | \$ - | \$ - | \$ - | \$ 250,000 | \$ 1,550,000 | \$ - | \$ 1,800,000 | \$ 1,800,000 | |

| | | | | | | | | | | | | | | |
|--|--|---------------------------------|-------------|---|------|----------|------------|---------------|--------------|-------------------|----------------------------|--|---|--|
| Project: Phase 3- Roadway and Utility Reconstruction | | | | City Council District | | Key Map: | | | | WBS.: | T-1525 | | | |
| | | | | Location: | | I | | Geo. Ref.: | | | | | | |
| | | | | Served: | | | | Neighborhood: | | | | | I | |
| Description: | Roadway, public utilities and sidewalks reconstruction/replacement, streetscape/pedestrian amenities using context sensitive design. Project is located on Bell between Bastrop and Emmancipation and Leeland between St Emanuel and Emancipation. Construction scheduled for 2025 and 2026 (\$3,200,000 programed for 2026) | | | Operating and Maintenance Costs: (\$ Thousands) | | | | | | | | | | |
| | | | | | 2022 | 2023 | 2024 | 2025 | 2026 | Total | | | | |
| | | | | Personnel | - | - | - | - | - | \$ - | | | | |
| | | | | Supplies | - | - | - | - | - | \$ - | | | | |
| Justification: | Street segments, public utilities and sidewalks are in poor condition and undersized. Upsized utilities should spur re-development. Improvements will spur redevelopment, benefit existing area businesses and provide safe pathways for pedestrians. | | | Svcs. & Chgs. | - | - | - | - | - | - | \$ - | | | |
| | | | | Capital Outlay | - | - | - | - | - | - | \$ - | | | |
| | | | | Total | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | | | | |
| | | | | FTEs | | | | | | - | | | | |
| | | | | Fiscal Year Planned Expenses | | | | | | | | | | |
| Project Allocation | | Projected Expenses thru 6/30/20 | 2021 Budget | 2021 Estimate | 2022 | 2023 | 2024 | 2025 | 2026 | FY22 - FY26 Total | Cumulative Total (To Date) | | | |
| Phase | | | | | | | | | | | | | | |
| 1 | Planning | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| 2 | Acquisition | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| 3 | Design | - | - | - | - | - | 400,000 | 400,000 | | \$ 800,000 | \$ 800,000 | | | |
| 4 | Construction | - | - | - | - | - | | 2,000,000 | | \$ 2,000,000 | \$ 2,000,000 | | | |
| 5 | Equipment | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| 6 | Close-Out | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| 7 | Other | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| Other Sub-Total: | | - | - | - | - | - | - | - | - | \$ - | \$ - | | | |
| | | | | | | | | | | | | | | |
| Total Allocations | | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ 400,000 | \$ 2,400,000 | \$ 2,800,000 | \$ 2,800,000 | | | |
| | | | | | | | | | | | | | | |
| Source of Funds | | | | | | | | | | | | | | |
| TIRZ Funds | | - | - | - | - | - | 400,000 | 2,400,000 | | \$ 2,800,000 | \$ 2,800,000 | | | |
| City of Houston | | - | - | - | - | - | - | - | | \$ - | \$ - | | | |
| Grants | | - | - | - | - | - | - | - | | \$ - | \$ - | | | |
| Other | | - | - | - | - | - | - | - | | \$ - | \$ - | | | |
| Total Funds | | \$ - | \$ - | \$ - | \$ - | \$ - | \$ 400,000 | \$ 2,400,000 | \$ 2,800,000 | \$ 2,800,000 | | | | |

*NOTE: \$5,200,000 programed for 2027

| | | | | | | | | | | | |
|-----------------------------------|---|---------------------------------|-------------|---|------|---------------|------|-------|------|-------------------|----------------------------|
| Project: Polk Street Improvements | | | | City Council District | | Key Map: | | WBS.: | | T-1526 | |
| | | | | Location: I | | Geo. Ref.: | | | | | |
| | | | | Served: I | | Neighborhood: | | | | | |
| Description: | Install separated Bicycle Facilities on Polk between Chartres and Ennis - Joint project with Harris County Precinct 1 | | | Operating and Maintenance Costs: (\$ Thousands) | | | | | | | |
| | | | | | 2022 | 2023 | 2024 | 2025 | 2026 | Total | |
| | | | | Personnel | - | - | - | - | - | \$ - | |
| Justification: | Additional bicycle facilities are needed in the area. Harris County identified Polk bicycle facilities as a potential partnership project. This partnership allows the Bicycle Facilities to be improved in the area on an accelerated basis. | | | Supplies | - | - | - | - | - | \$ - | |
| | | | | Svcs. & Chgs. | - | - | - | - | - | \$ - | |
| | | | | Capital Outlay | - | - | - | - | - | \$ - | |
| | | | | Total | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | |
| | | | | FTEs | | | | | | - | |
| | | | | Fiscal Year Planned Expenses | | | | | | | |
| Project Allocation | | Projected Expenses thru 6/30/20 | 2021 Budget | 2021 Estimate | 2022 | 2023 | 2024 | 2025 | 2026 | FY22 - FY26 Total | Cumulative Total (To Date) |
| Phase | | | | | | | | | | | |
| 1 | Planning | - | - | - | - | - | - | - | - | \$ - | \$ - |
| 2 | Acquisition | - | - | - | - | - | - | - | - | \$ - | \$ - |
| 3 | Design | - | - | - | - | - | - | - | - | \$ - | \$ - |
| 4 | Construction | 256,950 | - | - | - | - | - | - | - | \$ - | \$ 256,950 |
| 5 | Equipment | - | - | - | - | - | - | - | - | \$ - | \$ - |
| 6 | Close-Out | - | - | - | - | - | - | - | - | \$ - | \$ - |
| 7 | Other | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| Other Sub-Total: | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | | | | | | | | | | |
| Total Allocations | | \$ 256,950 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ 256,950 |
| | | | | | | | | | | | |
| Source of Funds | | | | | | | | | | | |
| TIRZ Funds | | 256,950 | - | - | - | - | - | - | - | \$ - | \$ 256,950 |
| City of Houston | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| Grants | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| Other | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| Total Funds | | \$ 256,950 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ 256,950 |

| | | | | | | | | | | | |
|--|--------------|---------------------------------|-------------|---|------|---------------|------|-------|------|-------------------|----------------------------|
| Project: Bicycle Sharing Facilities - Project moved to development | | | | City Council District | | Key Map: | | WBS.: | | T-1527 | |
| | | | | Location: H,I | | Geo. Ref.: | | | | | |
| | | | | Served: H,I | | Neighborhood: | | | | | |
| Description: | | | | Operating and Maintenance Costs: (\$ Thousands) | | | | | | | |
| | | | | | 2022 | 2023 | 2024 | 2025 | 2026 | Total | |
| | | | | Personnel | - | - | - | - | - | \$ - | |
| | | | | Supplies | - | - | - | - | - | \$ - | |
| Justification: | | | | Svcs. & Chgs. | - | - | - | - | - | - | \$ - |
| | | | | Capital Outlay | - | - | - | - | - | - | \$ - |
| | | | | Total | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| | | | | FTEs | | | | | | | - |
| | | | | Fiscal Year Planned Expenses | | | | | | | |
| Project Allocation | | Projected Expenses thru 6/30/20 | 2021 Budget | 2021 Estimate | 2022 | 2023 | 2024 | 2025 | 2026 | FY22 - FY26 Total | Cumulative Total (To Date) |
| Phase | | | | | | | | | | | |
| 1 | Planning | - | - | - | - | - | - | - | - | \$ - | \$ - |
| 2 | Acquisition | - | - | - | - | - | - | - | - | \$ - | \$ - |
| 3 | Design | - | - | - | - | - | - | - | - | \$ - | \$ - |
| 4 | Construction | - | - | - | - | - | - | - | - | \$ - | \$ - |
| 5 | Equipment | - | - | - | - | - | - | - | - | \$ - | \$ - |
| 6 | Close-Out | - | - | - | - | - | - | - | - | \$ - | \$ - |
| 7 | Other | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| Other Sub-Total: | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | | | | | | | | | | |
| Total Allocations | | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| | | | | | | | | | | | |
| Source of Funds | | | | | | | | | | | |
| TIRZ Funds | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| City of Houston | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| Grants | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| Other | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| Total Funds | | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |

| | | | | | | | | | | | |
|---|---|---------------------------------|-------------|---|------------|---------------|------|-------|------|-------------------|----------------------------|
| Project: Zone Wide Safety and Mobility Projects | | | | City Council District | | Key Map: | | WBS.: | | T-1528 | |
| | | | | Location: | | Geo. Ref.: | | | | | |
| | | | | Served: | | Neighborhood: | | | | | |
| Description: | Identify locations where there are safety issues, poor connections, poor or no infrastructure and remediation or installation would improve safety or mobility for all modes of transportation within the zone and implement the recommended solutions. | | | Operating and Maintenance Costs: (\$ Thousands) | | | | | | | |
| | | | | | 2022 | 2023 | 2024 | 2025 | 2026 | Total | |
| | | | | Personnel | - | - | - | - | - | \$ - | |
| | | | | Supplies | - | - | - | - | - | \$ - | |
| Justification: | There are varying levels of infrastructure within the zone and some locations that experience more safety issues than others. This project would address the City's goal of vision zero and improve access/mobility for all modes of transportation | | | Svcs. & Chgs. | - | - | - | - | - | \$ - | |
| | | | | Capital Outlay | - | - | - | - | - | \$ - | |
| | | | | Total | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | |
| | | | | FTEs | | | | | | - | |
| | | | | Fiscal Year Planned Expenses | | | | | | | |
| Project Allocation | | Projected Expenses thru 6/30/20 | 2021 Budget | 2021 Estimate | 2022 | 2023 | 2024 | 2025 | 2026 | FY22 - FY26 Total | Cumulative Total (To Date) |
| Phase | | | | | | | | | | | |
| 1 | Planning | - | - | - | 200,000 | - | - | - | - | \$ 200,000 | \$ 200,000 |
| 2 | Acquisition | - | - | - | - | - | - | - | - | \$ - | \$ - |
| 3 | Design | - | - | - | - | - | - | - | - | \$ - | \$ - |
| 4 | Construction | - | - | - | - | - | - | - | - | \$ - | \$ - |
| 5 | Equipment | - | - | - | - | - | - | - | - | \$ - | \$ - |
| 6 | Close-Out | - | - | - | - | - | - | - | - | \$ - | \$ - |
| 7 | Other | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| Other Sub-Total: | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| | | | | | | | | | | | |
| Total Allocations | | \$ - | \$ - | \$ - | \$ 200,000 | \$ - | \$ - | \$ - | \$ - | \$ 200,000 | \$ 200,000 |
| | | | | | | | | | | | |
| Source of Funds | | | | | | | | | | | |
| TIRZ Funds | | - | - | - | 200,000 | - | - | - | - | \$ 200,000 | \$ 200,000 |
| City of Houston | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| Grants | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| Other | | - | - | - | - | - | - | - | - | \$ - | \$ - |
| Total Funds | | \$ - | \$ - | \$ - | \$ 200,000 | \$ - | \$ - | \$ - | \$ - | \$ 200,000 | \$ 200,000 |

| | | | | | | | | | | | | | |
|--------------------------------|--|---------------------------------|-------------|---|-----------|-----------|-----------|-----------|-----------|-------------------|----------------------------|---------------|--|
| Project: Safe Sidewalk Program | | | | City Council District | | Key Map: | | WBS.: | | T-1599 | | | |
| | | | | Location: | | H,I | | | | | | Geo. Ref.: | |
| | | | | Served: | | H,I | | | | | | Neighborhood: | |
| Description: | Sidewalk Improvement Program | | | Operating and Maintenance Costs: (\$ Thousands) | | | | | | | | | |
| | | | | | 2022 | 2023 | 2024 | 2025 | 2026 | Total | | | |
| | | | | Personnel | - | - | - | - | - | \$ - | | | |
| | | | | Supplies | - | - | - | - | - | \$ - | | | |
| Justification: | Program to provide funds for Sidewalks to schools, parks, other public facilities and to fill in gaps in the pedestrian network throughout the zone. | | | Svcs. & Chgs. | - | - | - | - | - | \$ - | | | |
| | | | | Capital Outlay | - | - | - | - | - | \$ - | | | |
| | | | | Total | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | | | |
| | | | | FTEs | | | | | | - | | | |
| | | | | Fiscal Year Planned Expenses | | | | | | | | | |
| Project Allocation | | Projected Expenses thru 6/30/20 | 2021 Budget | 2021 Estimate | 2022 | 2023 | 2024 | 2025 | 2026 | FY22 - FY26 Total | Cumulative Total (To Date) | | |
| Phase | | | | | | | | | | | | | |
| 1 | Planning | - | - | - | - | - | - | - | - | \$ - | \$ - | | |
| 2 | Acquisition | - | - | - | - | - | - | - | - | \$ - | \$ - | | |
| 3 | Design | - | - | - | - | - | - | - | - | \$ - | \$ - | | |
| 4 | Construction | - | 25,000 | - | 50,000 | 50,000 | 50,000 | 50,000 | 50,000 | \$ 250,000 | \$ 250,000 | | |
| 5 | Equipment | - | - | - | - | - | - | - | - | \$ - | \$ - | | |
| 6 | Close-Out | - | - | - | - | - | - | - | - | \$ - | \$ - | | |
| 7 | Other | - | - | - | - | - | - | - | - | \$ - | \$ - | | |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - | | |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - | | |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - | | |
| | | - | - | - | - | - | - | - | - | \$ - | \$ - | | |
| Other Sub-Total: | | - | - | - | - | - | - | - | - | \$ - | \$ - | | |
| Total Allocations | | | | | | | | | | | | | |
| | | \$ - | \$ 25,000 | \$ - | \$ 50,000 | \$ 50,000 | \$ 50,000 | \$ 50,000 | \$ 50,000 | \$ 250,000 | \$ 250,000 | | |
| Source of Funds | | | | | | | | | | | | | |
| | | | | | | | | | | | | | |
| TIRZ Funds | | - | 25,000 | - | 50,000 | 50,000 | 50,000 | 50,000 | 50,000 | \$ 250,000 | \$ 250,000 | | |
| City of Houston | | - | - | - | - | - | - | - | - | \$ - | \$ - | | |
| Grants | | - | - | - | - | - | - | - | - | \$ - | \$ - | | |
| Other | | - | - | - | - | - | - | - | - | \$ - | \$ - | | |
| Total Funds | | \$ - | \$ 25,000 | \$ - | \$ 50,000 | \$ 50,000 | \$ 50,000 | \$ 50,000 | \$ 50,000 | \$ 250,000 | \$ 250,000 | | |

*NOTE:



10011 Meadowglen Lane
Houston, Texas 77042
EHRAinc.com | 713.784.4500
TBPE No. F-726 | TBPLS No. 10092300

EAST DOWNTOWN REDEVELOPMENT AUTHORITY/T.I.R.Z. NO. 15 ENGINEERING REPORT

Date: Through April 14, 2021

Date of Board Meeting: April 19, 2021

Engineer: K. Macy, P.E.

Signature

Agenda Item 4.c-e:

c. Engineering Consultant Report

1. (T-1503) Phase I – Roadway and Utility Re-Construction – Action Required

Update: COH has approved and accepted the project as complete. See attached letter of acceptance and final pay request in agenda.

ACTION ITEM: Approval to release retainage to Fused Industries.

2. (T-1514) Texas Avenue Mobility Improvements – No Action Required

Update: EHRA is coordinating with the COH for final design recommendations.

3. (T-1517) Columbia Tap Trail – Action Required

Update: A set of preliminary design plans was submitted to the COH OCE on March 31, 2021. The plans are currently still in review. EHRA and LDS are continuing collaboration to develop and finalize the design plans for the fitness zone, amenities, and detention pond for the Columbia Tap Trail. EHRA is requesting additional services to complete the proposed drainage and detention for the Columbia Tap Trail via WA No. 21-09. Further information regarding the additional services can be found in the work authorization attached in the agenda.

ACTION ITEM: Approval of Work Authorization NO. 21-09

4. (T-1504, 1515) Phase 2 – Roadway and Utility Re-construction and Polk Street Reconstruction – Action Required

Update: EHRA presented the existing conditions DCR to the COH on April 1, 2021. As discussed during the previous board meeting on March 15, 2021, the COH informed EHRA that any analysis from the 2018 drainage plan, and any previous drainage analysis done for the Phase II Reconstruction Project, is no longer applicable and the drainage analysis will have to be restarted to meet the recently updated COH criteria. EHRA is requesting additional services to complete the drainage design for Phase II Reconstruction via WA No. 21-11. Further information regarding the additional services can be found in the work authorization attached in the agenda.

ACTION ITEM: Approval of Work Authorization NO. 21-11

5. (T-1505) Walker – Roadway Rehabilitation – No Action Required

Update: EHRA and the COH finalized the proposed conceptual design for lane configuration and intersection layout for Walker Street and Emancipation Avenue intersection on March 17, 2021. With these elements finalized EHRA is moving forward in completing the conceptual design alternative that will be presented in the alternative analysis section of the DCR. The DCR sections for the next presentation are currently being developed, and EHRA is requesting the next DCR meeting with the COH in the coming weeks.

6. (T-1511) Bastrop Promenade/Greenspace (Design Phase) – Action Required

Update: As discussed in the previous board meeting on March 15, 2021, EHRA's initially scoped plan for the drainage and detention for Bastrop Greenspace is no longer applicable due to the COH's updated drainage criteria. The new criteria will require the implementation of increased detention, as discussed in the Projects Committee Meeting held on March 9, 2021. EHRA is requesting additional services for this work via WA No. 21-10. Further information regarding the additional services can be found in the work authorization attached in the agenda.

ACTION ITEM: Approval of Work Authorization No. 21-10

7. (T-1516) Phase 1 Amenity Overlay – Action Required

Update: The project was bid on March 31, 2021. EHRA has conducted a thorough analysis of the bids received. The low bidder construction cost was presented to the Projects Committee on April 12, 2021. The projects committee decided to move forward with the low bidder. EHRA has prepared a letter of recommendation for the low bidder for board approval and is attached in the agenda.

ACTION ITEM: Award Phase I Amenity Overlay contract

8. (T-1523) NHHIP Planning and Implementation – No Action Required

Update: None at this time

d. Existing and Proposed Work Authorizations (WA)

• Existing WAs –(no action required)

1. (WA 20-03) Phase 1 Amenity Overlay - (Update in b.7)

2. (WA 20-04) Preliminary Engineering for Texas Ave Traffic Improvements – (Update in b.2)

3. (WA No. 20-05) FY2020 Comprehensive Utility and Mobility Master Plan

Update: On hold.

4. (WA No. 20-07) Public Improvement Guidelines

Update: LDS is coordinating with TIRZ 15, EDMD and EEMD.

5. (WA No. 21-02) Phase 2 – Roadway and utility Reconstruction (DCR) – (Update in b.4)

6. (WA No. 21-03) Walker Street Roadway Rehabilitation (DCR) – (Update in b.5)

7. (WA 21-06) Bastrop/Promenade Greenspace Design – (Update in b.6)

8. (WA 21-07) Polk Street Addition to Phase 2 Roadway Utilities Reconstruction Topography and Design Concept Report (DCR) – (Update in b.4)
9. (WA 21-08) NHHIP Planning Implementation – (Updated in b.8)
- Proposed WAs – (Action Required)
 1. WA No. 21-09 Additional Services for Columbia Tap Trail
 2. WA No. 21-10 Additional Services for Bastrop Promenade
 3. WA No. 21-11 Additional Services for Phase 2 Roadway and Utility Reconstruction

NOTE: For Active Work Authorizations Summary and General Timeline see attached Exhibit 1 and 2.

- e. Other matters, if any
None at this time



10011 Meadowglen Lane
Houston, Texas 77042
EHRAlnc.com | 713.784.4500
TBPE No. F-726 | TBPLS No. 10092300

EAST DOWNTOWN REDEVELOPMENT AUTHORITY / T.I.R.Z. NO. 15

WORK AUTHORIZATION SUMMARY

Date: Through April 15, 2021

EXHIBIT

1: Active Work Authorization SUMMARY

| CIP # & WA # | Current Phase | Description | Total Value | Spent | Percent Complete | Expected Bid Phase | Expected Completion |
|-----------------------------|----------------------|---|--------------------|--------------|-------------------------|---------------------------|----------------------------|
| 1504 / 21-02 | DCR | Phase 2 - Roadway and Utility Re-Construction | \$86,500.00 | \$80,000.00 | 92% | Q3 2023 | Q3 2024 |
| 1504 / 21-07 | DCR | Addition of Polk to the Phase 2 Scope | \$19,800.00 | \$15,000.00 | 75% | Q3 2023 | Q3 2024 |
| 1505 / 21-03 | DCR | Walker - Roadway Rehabilitation | \$61,500.00 | \$59,000.00 | 96% | Q3 2021 | Q1 2022 |
| 1511 / 21-06 | Design | Bastrop Promenade / Greenspace (Design) | \$99,750.00 | \$70,000.00 | 70% | Q2/3 2021 | Q4 2021 |
| 1514 / 20-04 | Final Review | Texas Avenue Mobility Improvements | \$55,000.00 | \$35,000.00 | COMPLETE | | |
| 1516 / 20-03 | Final Design | Phase 1 Amenity Overlay | \$130,000.00 | \$85,000.00 | 65% | Q1 2021 | Q3 2021 |
| 1517 / 21-04 | Design | Columbia Tap Trail | \$57,500.00 | \$52,000.00 | 90% | Q2 2021 | Q3 2021 |



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EAST DOWNTOWN REDEVELOPMENT AUTHORITY / T.I.R.Z. NO. 15

WORK AUTHORIZATION SUMMARY

Date: Through April 15, 2021

EXHIBIT 2: Active Work Authorization Anticipated **TIMELINE**

| CIP 1503 - Phase 1 - Roadway and Utility Re-Construction | | |
|--|---------------|--|
| Item | Date / Window | Description |
| 1 | APRIL | Proj. Complete. Approve release of retainage to Fused Ind. |

| CIP 1504 - Phase 2 - Roadway and Utility Re-Construction (With Polk scope) | | |
|--|---------------|---|
| Item | Date / Window | Description |
| 1 | APRIL | Approve additional services to meet drainage request by COH |

| CIP 1505 - Walker - Roadway Rehabilitation | | |
|--|---------------|---|
| Item | Date / Window | Description |
| 1 | APRIL | Finalize DCR decisions with COH and move towards Design |

| CIP 1511 - Bastrop Promenade / Greenspace (Design) | | |
|--|---------------|----------------------------------|
| Item | Date / Window | Description |
| 1 | APRIL | Complete updated Drainage Design |

| CIP 1514 - Texas Avenue Mobility Improvements | | |
|---|---------------|--|
| Item | Date / Window | Description |
| 1 | APRIL | Coordination with COH on additional comments |

| CIP 1516 - Phase 1 Amenity Overlay | | |
|------------------------------------|---------------|---|
| Item | Date / Window | Description |
| 1 | APRIL | Award Contractor and move into construction |

| CIP 1517 - Columbia Tap Trail | | |
|-------------------------------|---------------|---------------------------------|
| Item | Date / Window | Description |
| 1 | APRIL | Work with COH to complete plans |



March 18, 2021

Tiffany Ehmke
TIRZ 15
711 Louisiana Street, Suite 2300
Houston, Texas 77002

**Re: Acceptance Letter for East Downtown Redevelopment Authority/TIRZ 15 Phase 1 Utility and Roadway Improvements for Dallas Ave from Chartres St to Emancipation Ave, St Emanuel St, Hutchins St and Bastrop St from Polk Ave to McKinney Ave.
WBS# N-T15010-0001-3**

Dear Tiffany:

We have reviewed the punch list items for the referenced project. The punch list items have been corrected to the City's satisfaction. The City hereby accepts the work on the referenced project.

If you need any additional information, please contact Jesus V. Garcia at 832 395-52445.

Sincerely,

Darren Wilson

Darren Wilson
Division Manager
Transportation & Drainage Operations

jvg

c: Michael T. Wahl, P.E., PTOE



TBPE No. F-726

Construction Progress Report and Pay Request No. Thirteen and Final

Date: April 5, 2021 Project No.: 111-022-03

Owner: The Board of Directors
East Downtown Redevelopment Authority
Mr. Clark Lord
c/o Bracewell LP
711 Louisiana Street, Suite 2300
Houston, Texas 77002

Project: TIRZ No. 15 and East Downtown Redevelopment Authority
Phase 1 Utility and Roadway Improvements

TIRZ Project No.: WBS No. N-T15010-001-3 (T-1503) Contractor: Fused Industries
14155 West Hardy Road
Houston, Texas 77060

| | | | |
|-------------------------------------|--------------------|--------------------------------------|------------------|
| Period Ending: | October 8, 2020 * | Original Contract Amount: | \$6,373,969.75 |
| Contract Date: | April 16, 2018 | Change Order No. 1: | (\$84,000.00) |
| Notice to Proceed Date: | June 4, 2018 | Change Order No. 2: | \$0.00 |
| | | Change Order No. 3: | \$61,218.00 |
| | | Change Order No. 4: | \$8,773.00 |
| | | Change Order No. 5: | \$55,781.40 |
| | | Change Order No. 6: | \$0.00 |
| | | Change Order No. 7: | \$0.00 |
| | | Change Order No. 8: | \$0.00 |
| | | Change Order No. 9: | \$69,350.00 |
| | | Final Contract Quantity Adjustments: | (\$143,112.05) |
| Contract Days: | 450 | Total Contract Amount To Date: | \$6,341,980.10 |
| Current Time Extensions (Rain Days) | 0 | | |
| Previous Time Extensions (Days) | 16 | Total Amount In Place To Date: | \$6,341,980.10 |
| Revised Contract Days: | 466 | | |
| Days To Date: | 322 | Less 0% Retainage: | \$0.00 |
| | | Subtotal: | \$6,341,980.10 |
| | | Plus Materials on Hand @ 85% | \$0.00 |
| Original Completion Date: | August 28, 2019 | Less Previous Payments: | (\$6,215,140.42) |
| Previous Revised Completion Date: | September 13, 2019 | | |
| Current Revised Completion Date: | September 13, 2019 | Total Amount Due this Report: | \$126,839.68 |
| Percent Time Used: | 69% | | |
| Percent Project Complete: | 100% | | |

Enclosed is a copy of the Consent to Final Payment for this Construction Progress Report No. Thirteen and Final.

*Note: Contractor is substantially complete as of April 22, 2019.

An EHRA Representative has conducted an on-site inspection to verify that all quantities have been installed and approved.

Recommended For Approval:
EDMINSTER, HINSHAW, RUSS & ASSOCIATES, INC. d/b/a EHRA

DocuSigned by: 4/5/2021 | 9:31:13 AM CDT
Jason Keeling
Practice Area Supervisor - Field Construction Phase Services

DocuSigned by: 4/5/2021 | 9:37:18 AM CDT
Kyle Macy, P.E.
Senior Project Manager

Please Remit Payment To:
Fused Industries
14155 West Hardy Road
Houston, Texas 77060

cc:
Tax Increment Reinvestment Zone No. 15
c/o Bracewell LP
Mr. Shad Cundiff - Fused Industries
Truman Edminster, P.E. - Firm
Holly Zimmerman, CPA - Firm

JK/nd

Fused Industries

14155 West Hardy Road
Houston, Texas 77060

Phone No.: 281-355-1420

APPLICATION FOR PAYMENT

| | | | |
|-----------|---|-------------------|---|
| TO: | Mr. Paul Dodd, P.E. TIRZ No. 15 and East Downtown Redevelopment Authority | APPLICATION NO: | 013 - RETAINAGE To 0 % |
| | | APPLICATION DATE: | October 8, 2020 |
| | | TIRZ Project No: | T-1503 |
| DISTRICT: | Tax Increment Reinvestment Zone No. 15 | PROJECT NO: | 111-022-03 |
| | | PROJECT: | Phase 1 Utility and Roadway Improvements |

| | | | |
|---------------------|----------------|----------------------|--------------|
| CONTRACT DATE: | April 16, 2018 | NOTICE TO PROCEED: | June 4, 2018 |
| APPLICATION PERIOD | | TIME USED THIS APP.: | 361.00 |
| from: June 1, 2019 | | TIME USED TO DATE: | 361.00 |
| to: October 8, 2020 | | CONTRACT TIME: | 450 |
| | | PERCENT USED: | 80% |

CONTRACTOR'S APPLICATION FOR PAYMENT

Application is made for payment, as shown below, in connection with the attached Continuation Sheet.

| | |
|--|----------------|
| 1. ORIGINAL CONTRACT AMOUNT | \$6,373,969.75 |
| 2. Net change by Change Orders | \$367,727.40 |
| 2a. Net Change by Quantity Adjustments | -\$272,877.53 |
| 3. CONTRACT SUM TO DATE (Line 1 ± 2) | \$6,468,819.62 |
| 4. TOTAL COMPLETED TO DATE (Column G on Continuation Sheet) | \$6,341,980.02 |
| 5. RETAINAGE: 0 % of Completed Work (__% of Column I on Continuation Sheet) | \$0.00 |
| 6. TOTAL EARNED LESS RETAINAGE (Line 4 Less Line 5 Total) | \$6,341,980.02 |
| 7. STORED MATERIALS (85%) (D31 on Stored Materials Sheet X 85%) | \$0.00 |
| 8. LESS PREVIOUS APPLICATIONS FOR PAYMENT (Line 6 from prior APPLICATION) | \$6,215,140.42 |
| 9. CURRENT PAYMENT DUE | \$126,839.60 |
| 10. BALANCE TO FINISH, INCLUDING RETAINAGE (Line 3 less Line 6) | \$126,839.60 |

SUBMITTED: 
FUSED Industries

APPROVED: _____

DATE: 10/08/2020

DATE: _____



**TIRZ NO. 15/EAST DOWNTOWN REDEVELOPMENT AUTHORITY
WORK AUTHORIZATION NO. 21-09
ADDITIONAL SERVICES REQUIRED IN ADDITION TO EXISTING WORK
AUTHORIZATION
(T-1517) COLUMBIA TAP IMPROVEMENTS
EHRA PROJECT NO. 111-022-28
April 15, 2021**

On July 18, 2011, East Downtown Redevelopment Authority and Edminster, Hinshaw, Russ & Associates, Inc. d/b/a EHRA (“EHRA” or “Engineer”) entered into a Master Services Agreement (the “Agreement”) for professional services to be performed on a periodic basis pursuant to individual Work Authorizations. This is Work Authorization No. 21-09, and as such, all terms of the Agreement will apply herein except in cases of conflicts between this Work Authorization No. 21-09 (this “Authorization”) and the Agreement. In such instances, the terms of this Authorization will control.

EHRA will provide professional engineering for additional services required for Columbia Tap Improvements. The proposed project limits will be located on the Columbia Tap Trail between St. Charles Street and Ennis Street. This scope of work includes professional engineering services required to complete storm water detention design per new City of Houston Infrastructure Design Manual requirements.

SCOPE OF SERVICES

The Scope of Services we propose to perform in addition to existing Work Authorization T-1517 is generally as follows:

A. Engineering Design

Background

Work Authorization 21-04 was approved on June 15, 2020. From that approval to date, the City of Houston has revised Chapter 9 of the Infrastructure Design Manual related to the detention rates which adopt complete implementation of the Atlas 14 hydrologic data. The design requirements have increased to include disturbed area that results in impervious surface and applies to the impervious cover associated with concrete footings of the park benches and exercise equipment.

As it applies to the Columbia Tap Trail Improvements, the following services are requested:

- Design of detention and storm water outfall to satisfy supplements to Chapter 9 of the Infrastructure Design Manual as it related to disturbed area that results in impervious surface and detention.
- Preparation of information to supplement construction drawing for approval by the City of Houston.

The proposed Scope of Services will require approximately 2-3 weeks.

TIRZ NO. 15/EAST DOWNTOWN REDEVELOPMENT AUTHORITY
WORK AUTHORIZATION NO. 21-09
ADDITIONAL SERVICES FOR COLUMBIA TAP IMPROVEMENTS
EHRA PROJECT NO. 111-022-28
April 15, 2021
Page 2

COMPENSATION

Engineer proposes to provide the above-described Scope of Services to Client on a **fixed-fee basis in the amount of \$12,000.00, plus reimbursable expenses.**

| Scope of Services | AMOUNT |
|---------------------------------|--------------------|
| A. Engineering Design | <u>\$12,000.00</u> |
| TOTAL WORK AUTHORIZATION | \$12,000.00 |

Reimbursable Expenses

Direct charges such as deliveries, reprographics, and City of Houston Plan Review will be reimbursed at a cost **not to exceed \$2,500.00.**

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TIRZ NO. 15/EAST DOWNTOWN REDEVELOPMENT AUTHORITY
WORK AUTHORIZATION NO. 21-09
ADDITIONAL SERVICES FOR COLUMBIA TAP IMPROVEMENTS
EHRA PROJECT NO. 111-022-28
April 15, 2021
Page 3

IN WITNESS WHEREOF, the parties have caused this Agreement to be executed by their duly authorized representatives.

**TAX INCREMENT REINVESTMENT
ZONE NO. 15, HOUSTON, TEXAS**

**EAST DOWNTOWN
REDEVELOPMENT AUTHORITY**

By: _____

By: _____

Name: _____

Name: _____

Title: _____


Title: _____

Date: _____

Date: _____

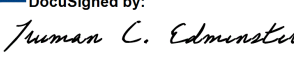
CONSULTANT:

**EDMINSTER, HINSHAW, RUSS
& ASSOCIATES, INC. d/b/a EHRA**

DocuSigned by:

By: _____
FA65ADCD8820473...
Name: Kyle J. Macy, P.E.
Title: Project Manager
Date: 4/15/2021 | 4:06:13 PM CDT

CONSULTANT:

**EDMINSTER, HINSHAW, RUSS
& ASSOCIATES, INC. d/b/a EHRA**

DocuSigned by:

By: _____
8DA3F1D10813481...
Name: Truman C. Edminster, P.E.
Title: Senior Principal
Date: 4/15/2021 | 5:03:58 PM CDT



**TIRZ NO. 15/EAST DOWNTOWN REDEVELOPMENT AUTHORITY
WORK AUTHORIZATION NO. 21-10
ADDITIONAL SERVICES REQUIRED IN ADDITION TO EXISTING WORK
AUTHORIZATION
(T-1511) BASTROP PROMENADE/GREENSPACE
EHRA PROJECT NO. 111-022-29
April 15, 2021**

On July 18, 2011, East Downtown Redevelopment Authority and Edminster, Hinshaw, Russ & Associates, Inc. d/b/a EHRA (“EHRA” or “Engineer”) entered into a Master Services Agreement (the “Agreement”) for professional services to be performed on a periodic basis pursuant to individual Work Authorizations. This is Work Authorization No. 21-10, and as such, all terms of the Agreement will apply herein except in cases of conflicts between this Work Authorization No. 21-10 (this “Authorization”) and the Agreement. In such instances, the terms of this Authorization will control.

EHRA will provide additional services required for the storm water design of Bastrop Promenade/Greenspace. The proposed project limits will be located within the Bastrop right-of-way between Polk Street and Bell Street. This scope of work includes professional engineering services required to complete storm water detention design per new City of Houston Infrastructure Design Manual requirements.

SCOPE OF SERVICES

The Scope of Services we propose to perform in addition to existing Work Authorization T-1511 is generally as follows:

A. Engineering Design

Background

Work Authorization 21-06 was approved on September 18, 2020. From that approval to date, the City of Houston has revised Chapter 9 of the Infrastructure Design Manual related to the detention rates which adopt complete implementation of the Atlas 14 hydrologic data. The design requirements have increased to include disturbed area that results in impervious surface and applies to the impervious cover associated with concrete footings of the shade structure, playground equipment, and detention basin.

As it applies to the Bastrop Promenade/Greenspace Improvements, the following services are requested:

- Design of detention and storm water outfall to satisfy supplements to the Chapter 9 of the Infrastructure Design Manual as it relates to disturbed area that results in impervious surface and detention.
- Preparation of information to supplement construction drawing for approval by the City of Houston.

The proposed Scope of Services will require approximately 3-4 weeks.

TIRZ NO. 15/EAST DOWNTOWN REDEVELOPMENT AUTHORITY
WORK AUTHORIZATION NO. 21-10
ADDITIONAL SERVICES FOR DESIGN OF (T-1511) BASTROP PROMENADE/GREENSPACE
EHRA PROJECT NO. 111-022-29
April 15, 2021
Page 2

COMPENSATION

Engineer proposes to provide the above-described Scope of Services to Client on a **fixed-fee basis in the amount of \$23,000.00, plus reimbursable expenses.**

| Scope of Services | AMOUNT |
|---------------------------------|--------------------|
| A. Engineering Design | <u>\$23,000.00</u> |
| TOTAL WORK AUTHORIZATION | \$23,000.00 |

Reimbursable Expenses

Direct charges such as deliveries, reprographics, and City of Houston Plan Review will be reimbursed at a cost **not to exceed \$4,000.00.**

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**TIRZ NO. 15/EAST DOWNTOWN REDEVELOPMENT AUTHORITY
WORK AUTHORIZATION NO. 21-10
ADDITIONAL SERVICES FOR DESIGN OF (T-1511) BASTROP PROMENADE/GREENSPACE
EHRA PROJECT NO. 111-022-29
April 15, 2021
Page 3**

IN WITNESS WHEREOF, the parties have caused this Agreement to be executed by their duly authorized representatives.

**TAX INCREMENT REINVESTMENT
ZONE NO. 15, HOUSTON, TEXAS**

**EAST DOWNTOWN
REDEVELOPMENT AUTHORITY**

By: _____

By: _____

Name: _____

Name: _____

Title: _____

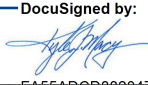
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Date: _____

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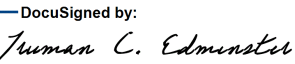
CONSULTANT:

**EDMINSTER, HINSHAW, RUSS
& ASSOCIATES, INC. d/b/a EHRA**

DocuSigned by:

By: _____
FA55ADCD8820473...
Name: Kyle J. Macy, P.E.
Title: Project Manager
Date: 4/15/2021 | 4:06:13 PM CDT

CONSULTANT:

**EDMINSTER, HINSHAW, RUSS
& ASSOCIATES, INC. d/b/a EHRA**

DocuSigned by:

By: _____
8DA3F1D10813481...
Name: Truman C. Edminster, P.E.
Title: Senior Principal
Date: 4/15/2021 | 5:03:58 PM CDT



**TIRZ NO. 15/EAST DOWNTOWN REDEVELOPMENT AUTHORITY
WORK AUTHORIZATION NO. 21-11
ADDITIONAL SERVICES REQUIRED IN ADDITION TO EXISTING WORK
AUTHORIZATION
(T-1504) PHASE 2 – ROADWAY AND UTILITY RECONSTRUCTION DCR
EHRA PROJECT NO. 111-022-30
April 15, 2021**

On July 18, 2011, East Downtown Redevelopment Authority and Edminster, Hinshaw, Russ & Associates, Inc. d/b/a EHRA (“EHRA” or “Engineer”) entered into a Master Services Agreement (the “Agreement”) for professional services to be performed on a periodic basis pursuant to individual Work Authorizations. This is Work Authorization No. 21-11, and as such, all terms of the Agreement will apply herein except in cases of conflicts between this Work Authorization No. 21-11 (this “Authorization”) and the Agreement. In such instances, the terms of this Authorization will control.

Background

A comprehensive drainage report for this area of the TIRZ was approved by the City of Houston (COH) in 2018. The analysis divided the Phase 1 and Phase 2 Roadway and Utility Reconstruction Projects into Five (5) separate phases of improvements and incorporated the COH CIP improvements titled “72-inch water line from Dowling to Tuam along Polk, Hutchins, Clay, Chenevert, Hadley, and Crawford” (72-inch Water Line). The CIP project was incorporated into the drainage report due to storm improvements along Emancipation Avenue that changed the downstream conditions.

The proposed design in the report met COH design standards for the HGL to remain below the gutter in the 50% chance (2-year) storm event and the 1% chance (100-year) storm event remaining within the right of way.

The Phase 1 improvements were constructed in FY 20. The storm sewer trunkline within the 72-inch Water Line project is currently under construction.

The original five (5) phases were modified in FY21 to combine portions of phases 2 through 4 into just one (1) phase, renamed Phase 2, while eliminating reconstruction of the areas that will be impacted by the TxDOT IH-69/IH-45 Expansion Project.

Since approval of the drainage report in 2018, significant COH criteria has changed. The 2020 edition of the City of Houston Infrastructure Design Manual, effective July 1, 2020, incorporated the adoption of Atlas 14 hydrologic data.

TIRZ NO. 15/EAST DOWNTOWN REDEVELOPMENT AUTHORITY
WORK AUTHORIZATION NO. 21-11
ADDITIONAL SERVICES FOR PH 2 – ROADWAY AND UTILITY RECONSTRUCTION DCR
EHRA PROJECT NO. 111-022-30
April 15, 2021
Page 2

Updates to the storm detention rates in the City of Houston Infrastructure Design Manual area were created and made effective on March 31, 2021. Supplements to Chapter 9 related to the detention rates have been approved, which incorporates complete adoption of the Atlas 14 hydrologic data. The design requirements have increased to include disturbed area that results in impervious surface and applies to impervious cover associated with various improvements.

SCOPE OF SERVICES

The scope of services we propose to perform in addition to existing Work Authorization T-1504 is further described as follows:

A. Additional Services

The existing Work Authorization T-1504 was based on the assumption that the COH would grant variances. The comprehensive drainage report evaluated the storm sewer system for a large portion of the TIRZ to function for optimal performance and then divided the system into financially plausible phases.

COH views have changed towards granting any variances for Atlas 14 rainfall data and specifically, detention rates. COH has requested additional data demonstrating the level of service achievable if the latest criteria is met.

Therefore, the City is requesting multiple design scenarios to be evaluated for comparison and cost analysis before selecting the preferred alternative.

Four (4) New Design Scenarios

- 1) Original storm sewer design run with new Atlas 14 rainfall criteria.
- 2) Modify storm sewer design to include Atlas 14 Rainfall Data.
- 3) Further modify Scenario 2 storm sewer design to meet detention rate of 0.75 ac-ft/acre through linear detention.
- 4) Further modify Scenario 2 storm sewer design to meet detention rate of 0.75 ac-ft/acre to include offline detention basins.

As part of the evaluation, the City has requested an updated analysis of the comprehensive drainage report with detailed reporting of constraints of the new criteria. Constraints include, the horizontal and vertical spatial limitations underground, lack of available undeveloped properties, financial burden on the TIRZ, and the cascading effect of the new detention criteria.

To determine the level of service achievable for each design scenario, multiple design storm events must be modeled beyond the typical 50% Annual Exceedance Probability (AEP) and 1% AEP rainfall events. The multiple design storm events to be evaluated include the 50% AEP (2-year), 10% AEP (10-year), 2% AEP (50-year), 1% AEP (100-year) rainfall events.



TIRZ NO. 15/EAST DOWNTOWN REDEVELOPMENT AUTHORITY
WORK AUTHORIZATION NO. 21-11
ADDITIONAL SERVICES FOR PH 2 – ROADWAY AND UTILITY RECONSTRUCTION DCR
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Page 3

Design scenarios, as requested by the COH, are inclusive of the following tasks:

- Create new hydrographs for each drainage area using HEC-HMS for multiple storm events.
- Creation of four (4) models per scenario (total of sixteen (16) models) and input of hydrograph information into SWMM for each drainage area.
- Iterations of storm sewer system design in SWMM Model to reach highest level of service for COH Design Standards for four (4) scenarios.
- Combine drainage areas from Phase 1 service area to simplify model. Our assumption is that the COH and TIRZ do not want to consider modifications to recently completed Phase 1 storm sewer improvements.
- Summary of drainage analysis inclusive of cost estimates, exhibits and model documentation for each scenario.
- Coordination with TIRZ representative for budgetary restrictions associated with meeting achievable level of service.
- Level of Service (LOS) analysis to show LOS that is attainable based on TIRZ 15 budgetary restrictions.

The proposed Scope of Services will require approximately 3 to 4 months.

COMPENSATION

Engineer proposes to provide the above-described Scope of Services to Client on a **fixed-fee basis in the amount of \$137,500.00.**

| Scope of Services | AMOUNT |
|---------------------------------|---------------------|
| A. Additional Services | <u>\$135,000.00</u> |
| TOTAL WORK AUTHORIZATION | \$135,000.00 |

Reimbursable Expenses

Direct charges such as deliveries, reprographics, etc., will be reimbursed at a cost **not to exceed \$2,500.00.**

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TIRZ NO. 15/EAST DOWNTOWN REDEVELOPMENT AUTHORITY
WORK AUTHORIZATION NO. 21-11
ADDITIONAL SERVICES FOR PH 2 – ROADWAY AND UTILITY RECONSTRUCTION DCR
EHRA PROJECT NO. 111-022-30
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IN WITNESS WHEREOF, the parties have caused this Agreement to be executed by their duly authorized representatives.

**TAX INCREMENT REINVESTMENT
ZONE NO. 15, HOUSTON, TEXAS**

**EAST DOWNTOWN
REDEVELOPMENT AUTHORITY**

By: _____

By: _____

Name: _____

Name: _____

Title: _____

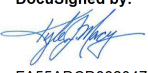
Title: _____

Date: _____

Date: _____

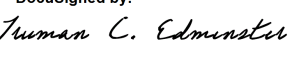
CONSULTANT:

**EDMINSTER, HINSHAW, RUSS
& ASSOCIATES, INC. d/b/a EHRA**

DocuSigned by:

By: _____
FA56ADCD8820473...
Name: Kyle J. Macy, P.E.
Title: Project Manager
Date: 4/15/2021 | 4:06:13 PM CDT

CONSULTANT:

**EDMINSTER, HINSHAW, RUSS
& ASSOCIATES, INC. d/b/a EHRA**

DocuSigned by:

By: _____
8BA3F4D10813481...
Name: Truman C. Edminster, P.E.
Title: Senior Principal
Date: 4/15/2021 | 5:03:58 PM CDT



April 15, 2021

Mr. Gordan Quan
TIRZ 15 Chair
East Downtown Redevelopment Authority ("the Authority")
c/o Bracewell LLP
711 Louisiana Street, Suite 2300
Houston, Texas 77002

Attn: East Downtown Redevelopment Authority/TIRZ 15

Re: **LANDSCAPE AND AMENITY OVERLAY FOR PHASE 1 IMPROVEMENT AREA
ILMS NO. 20065118 (T-1516)**

Dear Mr. Quan:

On March 31, 2021, four (4) bids were received for the above referenced project.

The bid submittals have been reviewed and each bid was checked for mathematical errors and/or bid irregularities. In reviewing the submittals, the Contractor's cost computations were verified and there were no bid irregularities.

A copy of the bid tabulation is attached for your use. The bids are summarized as follows:

| | |
|---|-----------------------|
| Lowest Responsive Bidder – Jerdon Enterprise, L.P. | \$1,502,617.40 |
| Second Lowest Bidder - D.L. Meacham | \$1,505,607.74 |
| Third Lowest Bidder- Texas Wall | \$1,757,387.50 |
| Fourth Lowest Bidder- Millis Development | \$1,845,474.59 |

Based on a mathematical analysis of the bids, Jerdon Enterprise, L.P. is the lowest responsive bidder for this project and the most advantageous selection for TIRZ 15. Based on the Contractor's history of completing many projects in the City of Houston, we consider them suitable for completing the construction services for the Landscape and Amenity Overlay for Phase 1 Improvement Area Project.

The engineer's opinion of probable cost varied from the bids due to reasons such as follows:


1. Post the engineer's opinion of probable cost there has been a significant labor shortage and increase in cost of materials.
2. The engineer's opinion of probable cost was developed prior to the significant weather event in Houston, Texas during the month of February, with that freezing temperatures impacted the price of landscaping.

Mr. Gordan Quan
April 15, 2021
Page 2

We do not anticipate a significant cost savings in attempting to re-bid this contract in its entirety or bidding the electrical or irrigation tasks separately.

If you need further information along with this request, please contact me directly at 713-784-4500.

Kind Regards,

DocuSigned by:

FA55ADCD8820473...
Kyle Macy, P.E.
Project Manager

EAST DOWNTOWN REDEVELOPMENT AUTHORITY

MONTHLY FINANCIAL REPORT

MARCH 31, 2021

***G**overnmental
Financial
Reporting, LLC*

East Downtown Redevelopment Authority Balance Sheet

March 31, 2021

| | Operating Fund | Capital Projects Fund | Debt Service Fund | Total |
|---------------------------------------|----------------------|--------------------------|----------------------|----------------------|
| ASSETS | | | | |
| Current Assets | | | | |
| Checking/Savings | | | | |
| Cash - Compass Bank | 97,657.14 | | | 97,657.14 |
| Capital Projects Fund - Compass Bank | | 886,341.86 | | 886,341.86 |
| Whitney Bank | 1,041.88 | | | 1,041.88 |
| TexSTAR - Revenue Account | 9,297,162.76 | | | 9,297,162.76 |
| Debt Service Fund | | | 906,591.98 | 906,591.98 |
| Total Checking/Savings | 9,395,861.78 | 886,341.86 | 906,591.98 | 11,188,795.62 |
| Other Current Assets | | | | |
| Tax Increments Receivable | 3,526,173.00 | | 491,085.00 | 4,017,258.00 |
| Total Other Current Assets | 3,526,173.00 | | 491,085.00 | 4,017,258.00 |
| Total Current Assets | 12,922,034.78 | 886,341.86 | 1,397,676.98 | 15,206,053.62 |
| TOTAL ASSETS | 12,922,034.78 | 886,341.86 | 1,397,676.98 | 15,206,053.62 |
| LIABILITIES & EQUITY | | | | |
| Liabilities | | | | |
| Current Liabilities | | | | |
| Accounts Payable | 301,139.07 | | | 301,139.07 |
| Accrued Debt Service | | | 491,085.00 | 491,085.00 |
| Retainage | | 126,839.60 | | 126,839.60 |
| Total Current Liabilities | 301,139.07 | 126,839.60 | 491,085.00 | 919,063.67 |
| Total Liabilities | 301,139.07 | 126,839.60 | 491,085.00 | 919,063.67 |
| Equity | | | | |
| Unassigned Fund Balance | 12,620,895.71 | | | 12,620,895.71 |
| Reserved for Capital Projects | | 759,502.26 | | 759,502.26 |
| Reserved for Debt Service | | | 906,591.98 | 906,591.98 |
| Total Fund Balance | 12,620,895.71 | 759,502.26 | 906,591.98 | 14,286,989.95 |
| TOTAL LIABILITIES & EQUITY | 12,922,034.78 | 886,341.86 | 1,397,676.98 | 15,206,053.62 |

East Downtown Redevelopment Authority

Statement of Revenue and Expenditures - Actual vs. Budget

| | Mar 21 | Budget | Jul - Mar 21 | YTD Budget | Annual Budget |
|---|---------------------|---------------------|---------------------|----------------------|----------------------|
| Revenue | | | | | |
| Tax Increments | 524,882.00 | 524,882.00 | 4,723,938.00 | 4,723,938.00 | 6,298,582.00 |
| Loan Proceeds | 0.00 | 666,666.00 | 0.00 | 6,000,002.00 | 8,000,000.00 |
| Interest | 249.29 | 5,112.00 | 8,064.00 | 46,008.00 | 61,342.00 |
| Total Revenue | 525,131.29 | 1,196,660.00 | 4,732,002.00 | 10,769,948.00 | 14,359,924.00 |
| Expenditures | | | | | |
| TIRZ Administration | | | | | |
| Accounting | 550.00 | 1,500.00 | 4,950.00 | 13,500.00 | 18,000.00 |
| Administration Consultant | 4,975.00 | 5,000.00 | 38,950.00 | 45,000.00 | 60,000.00 |
| Audit | 0.00 | 1,666.00 | 20,750.00 | 15,002.00 | 20,000.00 |
| Insurance | 0.00 | 166.00 | 1,002.80 | 1,502.00 | 2,000.00 |
| Tax Consultant | 412.80 | 500.00 | 3,698.40 | 4,500.00 | 6,000.00 |
| Office Expense | 138.58 | 1,666.00 | 1,526.90 | 15,002.00 | 20,000.00 |
| Total TIRZ Administration | 6,076.38 | 10,498.00 | 70,878.10 | 94,506.00 | 126,000.00 |
| Program & Project Consultants | | | | | |
| Engineering | 3,237.50 | 4,166.00 | 43,575.79 | 37,502.00 | 50,000.00 |
| Legal | 2,400.00 | 2,084.00 | 15,429.25 | 18,748.00 | 25,000.00 |
| Planning Consultants | 0.00 | 4,166.00 | 0.00 | 37,502.00 | 50,000.00 |
| Total Program & Project Consultants | 5,637.50 | 10,416.00 | 59,005.04 | 93,752.00 | 125,000.00 |
| Capital Outlay | | | | | |
| T-1503 Phs 1-Roadway/Utility Recon | 0.00 | 12,500.00 | 14,172.50 | 112,500.00 | 150,000.00 |
| T-1504 Phs 2-Roadway/Utility Recon | 6,925.00 | 70,834.00 | 99,752.60 | 637,498.00 | 850,000.00 |
| T-1505 Walker Str Roadway Rehab | 15,650.00 | 20,834.00 | 60,050.00 | 187,498.00 | 250,000.00 |
| T-1506 Amenity Overlay Phase 1A | 0.00 | 125,000.00 | 0.00 | 1,125,000.00 | 1,500,000.00 |
| T-1509 Bastrop Right of Way Imprvmt | 0.00 | 8,334.00 | 0.00 | 74,998.00 | 100,000.00 |
| T-1511 Bastrop Promenade | 23,087.00 | 8,334.00 | 65,062.00 | 74,998.00 | 100,000.00 |
| T-1514 Texas Ave Mobility Imprvmnts | 1,748.93 | 91,666.00 | 14,698.93 | 825,002.00 | 1,100,000.00 |
| T-1516 Amenity Overlay Phase 1 | 5,988.03 | 116,666.00 | 19,396.91 | 1,050,002.00 | 1,400,000.00 |
| T-1517 Columbia Tap Improvement | 1,825.00 | 41,666.00 | 46,116.25 | 375,002.00 | 500,000.00 |
| T-1520 Traffic Notification Imprvmt | 0.00 | 8,334.00 | 0.00 | 74,998.00 | 100,000.00 |
| T-1521 Public Parking Opportunities | 0.00 | 41,666.00 | 0.00 | 375,002.00 | 500,000.00 |
| T-1522 Pease Street Improvements | 0.00 | 14,584.00 | 175,000.00 | 131,248.00 | 175,000.00 |
| T-1523 NHHIP Planning/Implement | 0.00 | 10,000.00 | 0.00 | 90,000.00 | 120,000.00 |
| T-1599 Safe Sidewalk Program | 0.00 | 2,084.00 | 0.00 | 18,748.00 | 25,000.00 |
| Total Capital Outlay | 55,223.96 | 572,502.00 | 494,249.19 | 5,152,494.00 | 6,870,000.00 |
| Bycycle Stations | 0.00 | 0.00 | 33,892.00 | 0.00 | 0.00 |
| East Village | 0.00 | 6,878.00 | 0.00 | 61,894.00 | 82,528.00 |
| Developer Reimbursement | 0.00 | 0.00 | 56,057.38 | 0.00 | 0.00 |
| Debt Service | | | | | |
| Note Principal | 320,000.00 | 109,166.00 | 950,000.00 | 982,502.00 | 1,310,000.00 |
| Interest Expense | 149,111.47 | 64,180.00 | 459,457.53 | 577,628.00 | 770,168.00 |
| Stadium Land Purchase (County) | 54,565.00 | 54,566.00 | 491,085.00 | 491,086.00 | 654,784.00 |
| Total Debt Service | 523,676.47 | 227,912.00 | 1,900,542.53 | 2,051,216.00 | 2,734,952.00 |
| ISD Educational Facilities | 41,487.00 | 41,487.00 | 373,383.00 | 373,383.00 | 497,841.00 |
| COH Administration Fee | 12,557.00 | 12,556.00 | 113,013.00 | 113,011.00 | 150,679.00 |
| ISD Administration Fee | 2,083.00 | 2,084.00 | 18,747.00 | 18,748.00 | 25,000.00 |
| County Affordable Housing | 22,393.00 | 22,394.00 | 201,537.00 | 201,539.00 | 268,721.00 |
| Municipal Services (to COH) | 26,144.00 | 26,144.00 | 235,296.00 | 235,296.00 | 313,726.00 |
| | 104,664.00 | 104,665.00 | 941,976.00 | 941,977.00 | 1,255,967.00 |
| Total Expenditures | 695,278.31 | 932,871.00 | 3,556,600.24 | 8,395,839.00 | 11,194,447.00 |
| Net Excess (Deficiency) of Revenue over Expenditures | (170,147.02) | 263,789.00 | 1,175,401.76 | 2,374,109.00 | 3,165,477.00 |

East Downtown Redevelopment Authority

Schedule I

CHECK REGISTERS AND DISBURSEMENTS

As of April 19, 2021

| Type | Date | Num | Name | Amount | Balance |
|--|------------|-------|-------------------------------------|------------------|---------------------|
| <u>Operating Fund:</u> | | | | | |
| Cash - Compass Bank | | | | | 97,756.28 |
| Deposit | 03/01/2020 | Dep. | Interest | 9.06 | 97,765.34 |
| Check | 03/15/2021 | Debit | Compass Bank | -108.20 | 97,657.14 |
| Bill Pmt -Check | 04/19/2021 | 1441 | Bracewell LLP | -1,000.00 | 96,657.14 |
| Bill Pmt -Check | 04/19/2021 | 1442 | Equi-Tax Inc. | -412.80 | 96,244.34 |
| Bill Pmt -Check | 04/19/2021 | 1443 | Governmental Financial Reporting, L | -572.18 | 95,672.16 |
| Bill Pmt -Check | 04/19/2021 | 1444 | SMW Principle Solutions, Inc. | -5,506.61 | 90,165.55 |
| Cash - Compass Bank | | | | -7,590.73 | 90,165.55 |
| Whitney Bank | | | | | 1,041.84 |
| Deposit | 02/28/2020 | Dep. | Interest | 0.04 | 1,041.88 |
| Total Whitney Bank | | | | 0.04 | 1,041.88 |
| TexSTAR - Revenue Account | | | | | 9,296,992.39 |
| Deposit | 03/31/2020 | Dep. | Interest | 170.37 | 9,297,162.76 |
| Total TexSTAR | | | | 170.37 | 9,297,162.76 |
| <u>Net Operating Fund Available</u> | | | | | 9,388,370.19 |
| <u>Capital Projects Fund:</u> | | | | | |
| Cash - Compass | | | | | 886,306.67 |
| Deposit | 03/01/2020 | Dep. | Interest | 35.19 | 886,341.86 |
| Bill Pmt -Check | 04/19/2021 | 1008 | Bracewell LLP | -1,400.00 | 884,941.86 |
| Bill Pmt -Check | 04/19/2021 | 1009 | Edminster Hinshaw Russ & Associat | -34,254.03 | 850,687.83 |
| Bill Pmt -Check | 04/19/2021 | 1010 | Edminster Hinshaw Russ & Associat | -23,682.43 | 827,005.40 |
| Total Compass Bank | | | | -59,301.27 | 827,005.40 |
| <u>Total Capital Projects Fund</u> | | | | | 827,005.40 |
| <u>Debt Service Fund:</u> | | | | | |
| Cash - Compass | | | | | 906,557.31 |
| Deposit | 03/01/2020 | Dep. | Interest | 34.67 | 906,591.98 |
| Total Compass Bank | | | | 34.67 | 906,591.98 |
| <u>Total Debt Service Fund</u> | | | | | 906,591.98 |

UNPAID BILLS

| | | | | | |
|---|------------|------|-------------------------------------|------------|-------------------|
| Operating - BBVA Compass Bank | | | | | |
| Bill Pmt -Check | 04/19/2021 | 1441 | Bracewell LLP | -1,000.00 | -1,000.00 |
| Bill Pmt -Check | 04/19/2021 | 1442 | Equi-Tax Inc. | -412.80 | -412.80 |
| Bill Pmt -Check | 04/19/2021 | 1443 | Governmental Financial Reporting, L | -572.18 | -572.18 |
| Bill Pmt -Check | 04/19/2021 | 1444 | SMW Principle Solutions, Inc. | -5,506.61 | -5,506.61 |
| Capital Projects - BBVA Compass Bank | | | | | |
| Bill Pmt -Check | 04/19/2021 | 1008 | Bracewell LLP | -1,400.00 | -1,400.00 |
| Bill Pmt -Check | 04/19/2021 | 1009 | Edminster Hinshaw Russ & Associat | -34,254.03 | -34,254.03 |
| Bill Pmt -Check | 04/19/2021 | 1010 | Edminster Hinshaw Russ & Associat | -23,682.43 | -23,682.43 |
| TOTAL | | | | | -66,828.05 |

East Downtown Redevelopment Authority

Capital Outlay

| Type | Date | Num | Name | Memo | Amount |
|--|------------|---------------|-------------------------------------|--|-----------|
| Capital Outlay | | | | | |
| T-1503 Phs 1-Rdwy/Utility Recon | | | | | |
| Bill | 07/31/2020 | 1290 | SMW Principle Solutions, Inc. | July Consulting | 112.50 |
| Bill | 08/03/2020 | 83986 - Aug. | Edminster Hinshaw Russ & Associates | Comprehensive Utility & Mobility Plan | 5,000.00 |
| Bill | 10/01/2020 | 82735 - April | Edminster Hinshaw Russ & Associates | Comprehensive Utility & Mobility Plan | 5,060.00 |
| Bill | 11/02/2020 | 85476 - 11/2 | Edminster Hinshaw Russ & Associates | Comprehensive Utility & Mobility Plan | 4,000.00 |
| Total T-1503 Phs 1-Rdwy/Utility Recon | | | | | 14,172.50 |
| T-1504 Phs 2-Rdwy/Utility Recon | | | | | |
| Bill | 08/03/2020 | 83989 - Aug. | Edminster Hinshaw Russ & Associates | Topo & DCR for Phase 2 Recon | 7,127.60 |
| Bill | 10/05/2020 | 84936 | Edminster Hinshaw Russ & Associates | Topo & DCR for Phase 2 Recon | 43,000.00 |
| Bill | 10/05/2020 | 84938 | Edminster Hinshaw Russ & Associates | Addition of Polk to Phase 2 Rdwy/Utility | 5,225.00 |
| Bill | 11/02/2020 | 85478 - 11/2 | Edminster Hinshaw Russ & Associates | Topo & DCR for Phase 2 Recon | 11,000.00 |
| Bill | 11/02/2020 | 85482 - 11/2 | Edminster Hinshaw Russ & Associates | Addition of Polk to Phase 2 Rdwy/Utility | 4,625.00 |
| Bill | 12/07/2020 | 85830 | Edminster Hinshaw Russ & Associates | Topo & DCR for Phase 2 Recon | 8,250.00 |
| Bill | 12/07/2020 | 85832 | Edminster Hinshaw Russ & Associates | Addition of Polk to Phase 2 Rdwy/Utility | 4,050.00 |
| Bill | 01/04/2021 | 86129 | Edminster Hinshaw Russ & Associates | Addition of Polk to Phase 2 Rdwy/Utility | 2,700.00 |
| Bill | 02/01/2021 | 86464 | Edminster Hinshaw Russ & Associates | Topo & DCR for Phase 2 Recon | 5,500.00 |
| Bill | 02/01/2021 | 86468 | Edminster Hinshaw Russ & Associates | Addition of Polk to Phase 2 Rdwy/Utility | 1,350.00 |
| Bill | 03/01/2021 | 86979 | Edminster Hinshaw Russ & Associates | Topo & DCR for Phase 2 Recon | 5,500.00 |
| Bill | 03/01/2021 | 86983 | Edminster Hinshaw Russ & Associates | Addition of Polk to Phase 2 Rdwy/Utility | 1,350.00 |
| Bill | 03/31/2021 | 1341 | SMW Principle Solutions, Inc. | March Consulting | 75.00 |
| Total T-1504 Phs 2-Rdwy/Utility Recon | | | | | 99,752.60 |
| T-1505 Walker Str Roadway Rehab | | | | | |
| Bill | 08/03/2020 | 83990 - Aug. | Edminster Hinshaw Russ & Associates | Topo & DCR for Walker Rehab | 9,500.00 |
| Bill | 10/05/2020 | 85107 | Edminster Hinshaw Russ & Associates | Topo & DCR for Walker Rehab | 26,000.00 |
| Bill | 10/31/2020 | 1308 | SMW Principle Solutions, Inc. | Oct. Consulting | 75.00 |
| Bill | 11/02/2020 | 85479 | Edminster Hinshaw Russ & Associates | Topo & DCR for Walker Rehab | 6,000.00 |
| Bill | 11/30/2020 | 1317 | SMW Principle Solutions, Inc. | Nov. Consulting | 600.00 |
| Bill | 12/15/2020 | 1322 | SMW Principle Solutions, Inc. | Dec. Consulting | 225.00 |
| Bill | 02/01/2021 | 86465 | Edminster Hinshaw Russ & Associates | Topo & DCR for Walker Rehab | 2,000.00 |
| Bill | 03/01/2021 | 84630 - Sept. | Edminster Hinshaw Russ & Associates | Topo & DCR for Walker Rehab | 13,500.00 |
| Bill | 03/01/2021 | 86980 | Edminster Hinshaw Russ & Associates | Topo & DCR for Walker Rehab | 2,000.00 |
| Bill | 03/31/2021 | 1341 | SMW Principle Solutions, Inc. | March Consulting | 150.00 |
| Total T-1505 Walker Str Roadway Rehab | | | | | 60,050.00 |
| T-1511 Bastrop Promenade | | | | | |
| Bill | 07/06/2020 | 83899 - July | Edminster Hinshaw Russ & Associates | Bastrop Promenade/Greenspace Design | 1,500.00 |
| Bill | 07/31/2020 | 1290 | SMW Principle Solutions, Inc. | July Consulting | 262.50 |
| Bill | 08/03/2020 | 83992 - Aug. | Edminster Hinshaw Russ & Associates | Bastrop Promenade/Greenspace Design | 750.00 |
| Bill | 10/05/2020 | 85109 | Edminster Hinshaw Russ & Associates | Bastrop Promenade/Greenspace Design | 5,796.50 |
| Bill | 10/05/2020 | 85110 | Edminster Hinshaw Russ & Associates | Bastrop Promenade/Greenspace Design | 3,323.25 |
| Bill | 10/31/2020 | 1308 | SMW Principle Solutions, Inc. | Oct. Consulting | 225.00 |
| Bill | 11/02/2020 | 85481 - 11/2 | Edminster Hinshaw Russ & Associates | Bastrop Promenade/Greenspace Design | 2,457.50 |
| Bill | 11/30/2020 | 1317 | SMW Principle Solutions, Inc. | Nov. Consulting | 1,162.50 |
| Bill | 12/07/2020 | 85831 | Edminster Hinshaw Russ & Associates | Bastrop Promenade/Greenspace Design | 6,570.25 |
| Bill | 12/15/2020 | 1322 | SMW Principle Solutions, Inc. | Dec. Consulting | 562.50 |
| Bill | 01/04/2021 | 86128 | Edminster Hinshaw Russ & Associates | Bastrop Promenade/Greenspace Design | 17,597.50 |
| Bill | 02/01/2021 | 86467 | Edminster Hinshaw Russ & Associates | Bastrop Promenade/Greenspace Design | 1,767.50 |
| Bill | 03/01/2021 | 84631 - Sept. | Edminster Hinshaw Russ & Associates | Bastrop Promenade/Greenspace Design | 6,953.50 |
| Bill | 03/01/2021 | 86892 | Edminster Hinshaw Russ & Associates | Bastrop Promenade/Greenspace Design | 15,908.50 |
| Bill | 03/31/2021 | 1341 | SMW Principle Solutions, Inc. | March Consulting | 225.00 |
| Total T-1511 Bastrop Promenade | | | | | 65,062.00 |
| T-1514 Texas Ave Mobility Impr | | | | | |
| Bill | 07/06/2020 | 83897 - July | Edminster Hinshaw Russ & Associates | Prelim Eng. for Texas Traffic Imprvmts | 5,250.00 |
| Bill | 08/03/2020 | 83985 - Aug. | Edminster Hinshaw Russ & Associates | Prelim Eng. for Texas Traffic Imprvmts | 3,500.00 |
| Bill | 10/01/2020 | 82734 - April | Edminster Hinshaw Russ & Associates | Prelim Eng. for Texas Traffic Imprvmts | 4,200.00 |

East Downtown Redevelopment Authority

Capital Outlay

| Type | Date | Num | Name | Memo | Amount |
|--|------------|---------------|-------------------------------------|--|-------------------|
| Bill | 03/01/2021 | 84628 - Sept. | Edminster Hinshaw Russ & Associates | Prelim Eng. for Texas Traffic Imprvmts | 1,748.93 |
| Total T-1514 Texas Ave Mobility Impr | | | | | 14,698.93 |
| T-1516 Amenity Overlay-Phase 1 | | | | | |
| Bill | 07/31/2020 | 1290 | SMW Principle Solutions, Inc. | July Consulting | 112.50 |
| Bill | 10/01/2020 | 82736 - April | Edminster Hinshaw Russ & Associates | Phase 1 Amenity Overlay Final Docs | 2,700.00 |
| Bill | 10/05/2020 | 85106 | Edminster Hinshaw Russ & Associates | Phase 1 Amenity Overlay Final Docs | 4,371.38 |
| Bill | 10/31/2020 | 1308 | SMW Principle Solutions, Inc. | Oct. Consulting | 150.00 |
| Bill | 11/30/2020 | 1317 | SMW Principle Solutions, Inc. | Nov. Consulting | 75.00 |
| Bill | 12/07/2020 | 85828 | Edminster Hinshaw Russ & Associates | Phase 1 Amenity Overlay Final Docs | 6,000.00 |
| Bill | 03/01/2021 | 86977 | Edminster Hinshaw Russ & Associates | Phase 1 Amenity Overlay Final Docs | 5,988.03 |
| Total T-1516 Amenity Overlay-Phase 1 | | | | | 19,396.91 |
| T-1517 Columbia Tap Improvement | | | | | |
| Bill | 07/31/2020 | 1290 | SMW Principle Solutions, Inc. | July Consulting | 300.00 |
| Bill | 08/03/2020 | 83991 - Aug. | Edminster Hinshaw Russ & Associates | Columbia Tap Improvements | 9,500.00 |
| Bill | 10/05/2020 | 85108 | Edminster Hinshaw Russ & Associates | Columbia Tap Improvements | 19,800.00 |
| Bill | 10/31/2020 | 1308 | SMW Principle Solutions, Inc. | Oct. Consulting | 375.00 |
| Bill | 11/02/2020 | 85480 - 11/2 | Edminster Hinshaw Russ & Associates | Columbia Tap Improvements | 9,975.00 |
| Bill | 11/30/2020 | 1317 | SMW Principle Solutions, Inc. | Nov. Consulting | 787.50 |
| Bill | 02/01/2021 | 86466 | Edminster Hinshaw Russ & Associates | Columbia Tap Improvements | 3,553.75 |
| Bill | 03/01/2021 | 86981 | Edminster Hinshaw Russ & Associates | Columbia Tap Improvements | 1,750.00 |
| Bill | 03/31/2021 | 1341 | SMW Principle Solutions, Inc. | March Consulting | 75.00 |
| Total T-1517 Columbia Tap Improvement | | | | | 46,116.25 |
| T-1522 Pease Street Improvement | | | | | |
| Bill | 08/24/2020 | EDGE Project | Scenic Houston | 2 of 3 instalmts-East Downtown Gateway | 175,000.00 |
| Total T-1522 Pease Street Improvement | | | | | 175,000.00 |
| Total Capital Outlay | | | | | 494,249.19 |
| TOTAL | | | | | 494,249.19 |

East Downtown Redevelopment Authority
Debt Service Requirements

| | Mar. 1, 2021 | June 1, 2021 | Sept. 1, 2021 | Dec. 1, 2021 |
|--------------------------------------|---------------|---------------|---------------|---------------|
| Loan Agreement Serial Bonds 6/23/16: | | | | |
| Principal | \$ 320,000.00 | \$ 360,000.00 | \$ 330,000.00 | \$ 325,000.00 |
| Interest | 152,121.00 | 149,725.00 | 147,069.00 | 144,618.00 |
| | <hr/> | | | |
| Total Debt Service | \$ 472,121.00 | \$ 509,725.00 | \$ 477,069.00 | \$ 469,618.00 |
| | <hr/> | | | |